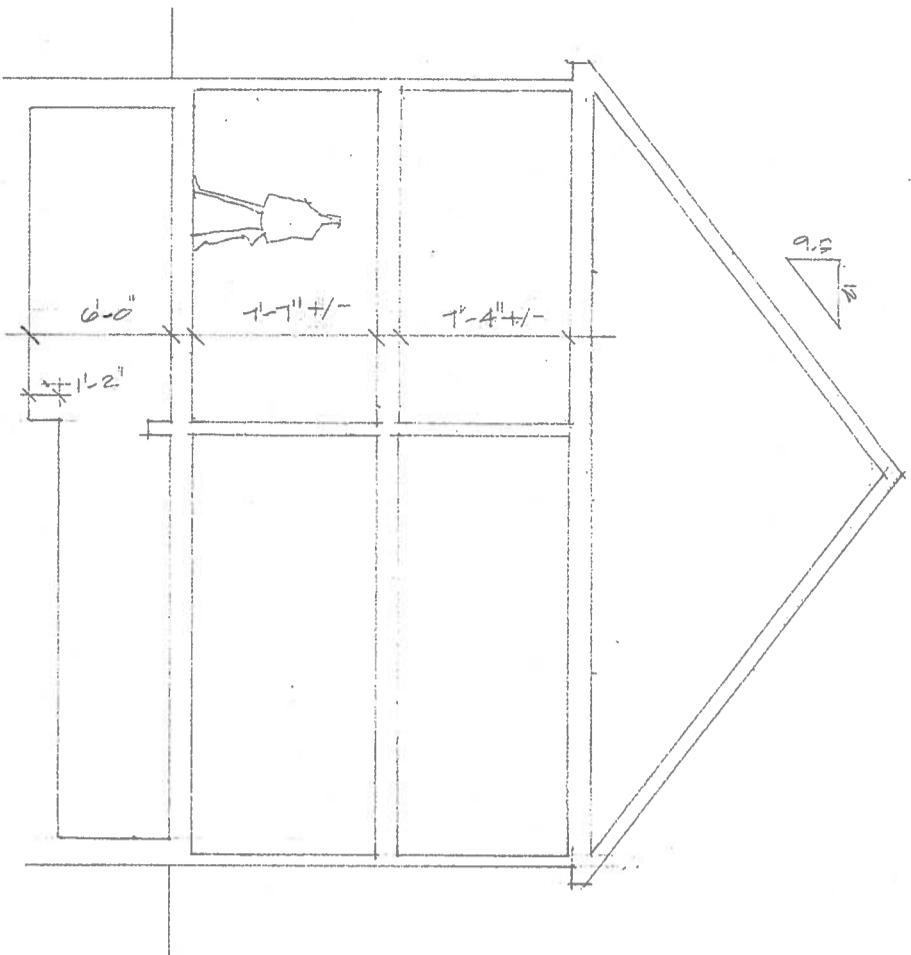
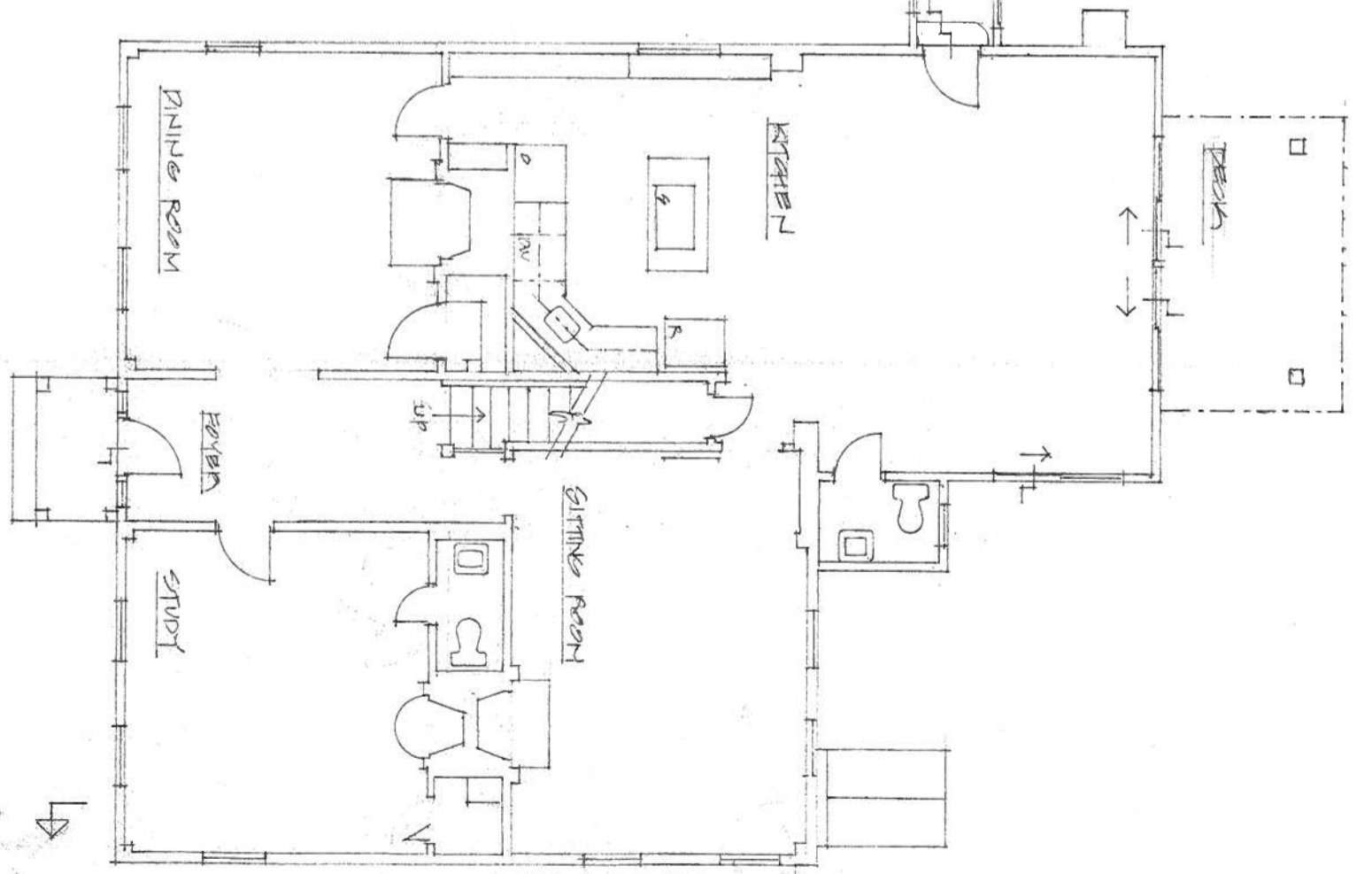
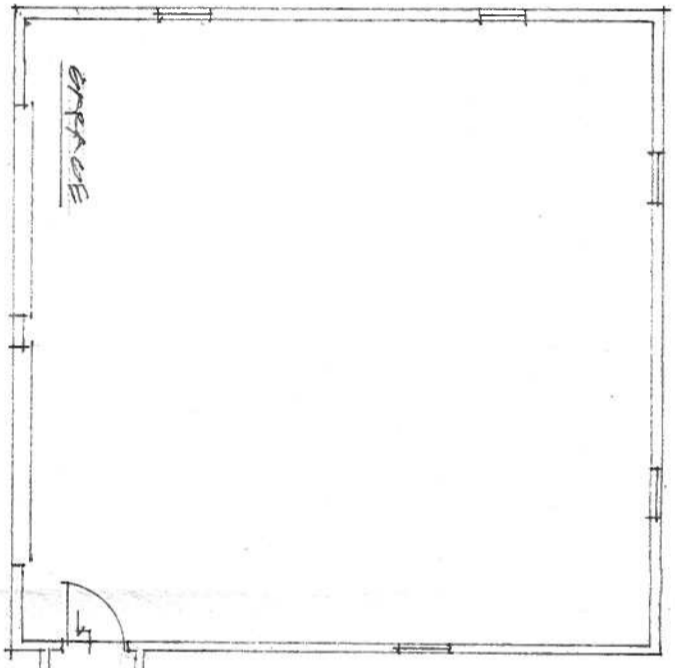


OWNERSHIP OF DOCUMENTS
 Plans and specifications, as instruments of service are, and shall remain the property of John P. Beveridge, AIA, LLC. (the architect) whether the project for which they are prepared is executed or not. The Owner shall retain copies of plans and specifications for information and reference. The plans and specifications shall not be used by the Owner or any other party without the prior written authorization by the architect. The architect shall not be responsible for any construction or other work undertaken or any other work undertaken without appropriate compensation to the architect.



Pictorial Section



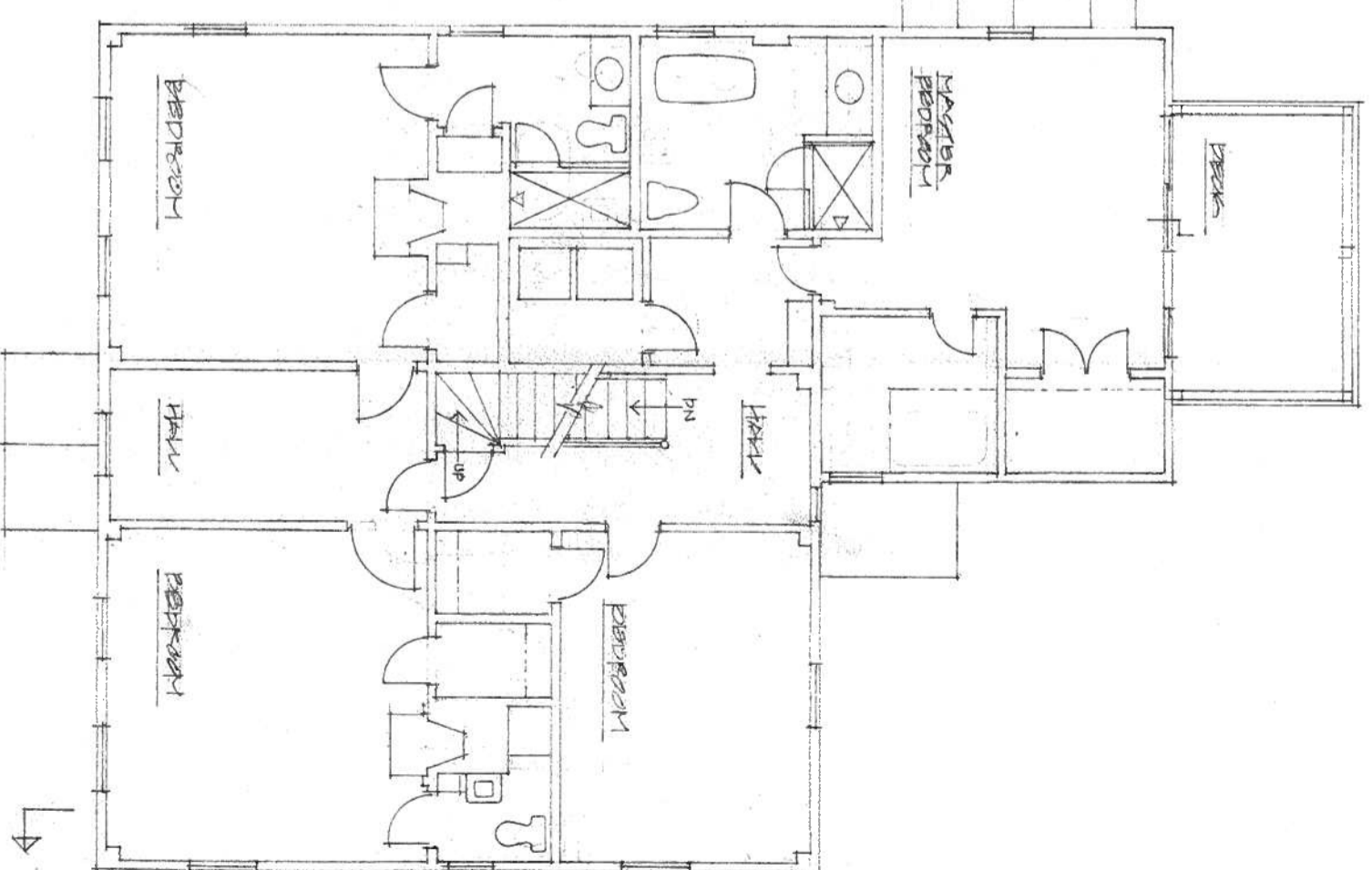
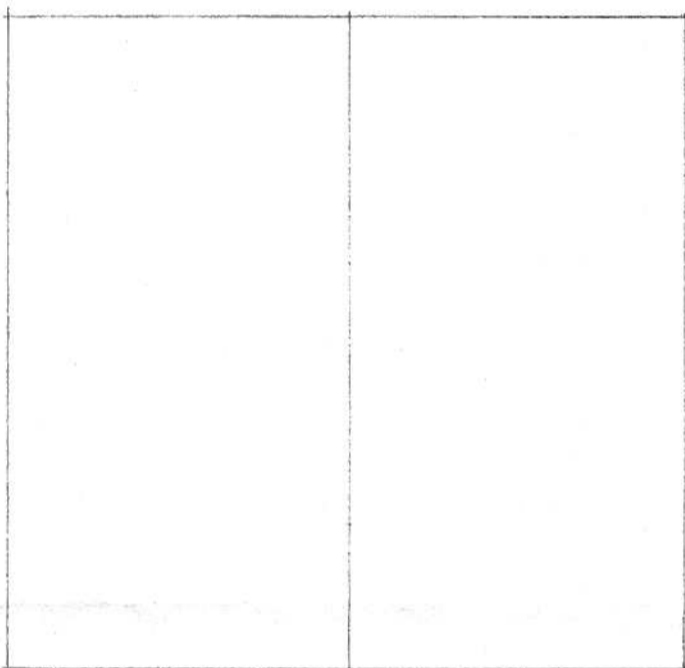
JOHN P. BEVERIDGE, AIA
 Architect
 18 River Road
 Essex, CT 06028
 (860) 787-3072
 Beveridge@earthlink.net

PROJECT SHEET
 SCALE: 1/8" = 1'-0"
 DATE: 11/28/11
 APPROVED BY:
 JOHN P. BEVERIDGE, AIA
 507 VICTOR AVENUE

CONSTRUCTION NOTES

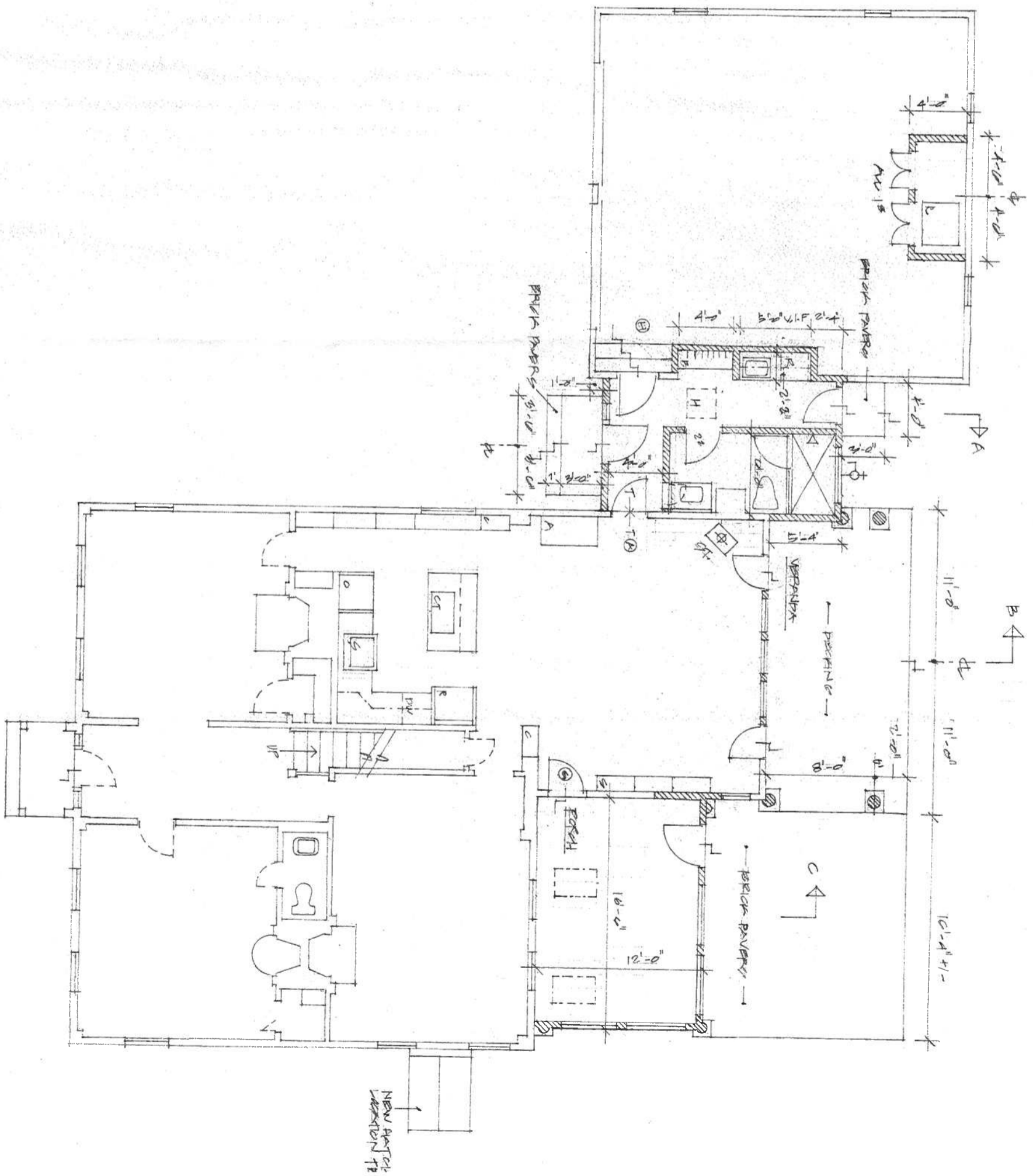
1. All work to comply with Connecticut State Building Code and any applicable FEMA, local, and Zoning Regulations.
2. General Contractor (GC) to obtain Building Permit. GC to arrange for the necessary and timely on-site inspections. Subcontractors (Subs) to do the same.
3. GC to provide Owner a schedule of decisions regarding millwork, finishes, electrical devices, etc. prior to the start of construction.
4. GC to verify existing and proposed conditions prior to the start of Construction. Report any issues to the Owner and Architect prior to proceeding.
5. GC to protect all existing conditions to remain after construction. Any such items that are damaged or disturbed during construction are to be repaired prior to completion of work.
6. All new exterior and interior finishes, trim, materials, etc. to match existing; repair existing siding as necessary. Interior doors and trim to match existing. 2" x 6" wide except as noted.
7. Install cedar shingles over cedar breather. Install Ice and Watershield at eaves and valleys. Install 16" standing seam metal roofing over full Ice and Watershield on new Screen Porch roof. Install gutters and downspouts.
8. New exterior walls 2x6's 16" oc; new interior walls 2x4's 16" oc.
9. Install closed cell foam insulation in walls, floors, and ceilings, including inside east wall of Garage and new Garage Storage Closet per Code. GC to upgrade insulation on existing walls and ceilings where opened up.
10. Install 1/2" gypsum wallboard on all new interior walls and ceilings except for 1/2" "greenboard" in Bathroom.
11. Owner to provide all new plumbing and electrical fixtures.
12. Paint by Benjamin Moore or equal.
13. Kitchen:
 - a. All new cabinetry and appliances as illustrated; supplied by Owner. Owner and GC to work and coordinate with Designer/Fabricator.
 - b. New tile flooring with underfloor hot water heating system with separate thermostat; same for all other under-floor systems. Tile to be supplied by Owner.
 - c. Install cast iron wood burning stove provided by Owner as illustrated.
 - d. All finishes to be determined by Owner.
14. Mudroom:
 - a. Remove existing Brezeway including foundation.
 - b. Install foundation as illustrated.
 - c. Floor height to match Kitchen.
 - d. Install cabinetry and appliances as illustrated; supplied by Owner.
 - e. Install tile flooring with underfloor hot water heating system. Tile to be supplied by Owner.
 - f. All finishes to be determined by Owner.
15. Bathroom:
 - a. Install 3' x 6' steam shower stall with steam generating unit by Temasco or equal. Unit to be placed in "attic" space above with required clearances as directed by manufacturer. Provide access via hatchway as illustrated. Fully tile shower stall including ceiling which should have slight slope. No tray or threshold entry required.
 - b. Install tile flooring with underfloor hot water heating system. Tile to be provided by Owner, same for sink.
 - c. Install heated towel rack on west wall by Owner.
 - d. Install 42" beadboard wainscot with cap.
 - e. All finishes to be determined by Owner.
16. Veranda:
 - a. Remove existing deck.
 - b. Install concrete slab and foundation. Install Trex decking. VIF.
 - c. Install 1x8 v-groove pine ceiling. VIF.
 - d. Touch up exterior house siding as necessary.
 - e. Install structural posts encased in 10" round, non-tapered fiberglass columns with Tuscan cap and base by DSI Columns (Brossco) or equal to support roof and Second Floor Deck.
17. NE Screen Porch:
 - a. Remove existing Lavatory and relocate hatchway to east side of residence as illustrated.
 - b. Install screens as illustrated, Screenshotz or equal.
 - c. Install tile flooring on top of new slab, provided by Owner.
 - d. Install 1x8 v-groove pine vertical siding on south and west walls. VIF.
 - e. Install 1x8 v-groove pine ceiling. VIF.
 - f. Install 8"x8" round, non-tapered fiberglass columns with Tuscan cap and base by DSI Columns (Brossco) or equal; modify as illustrated.
 - g. All colors to be determined by Owner.

18. Master Bedroom:
 - a. Turn former Bathroom into an Entrance Hallway with Closet at the end as illustrated. Extend dormer as illustrated. Construct new Closet and shoe rack in area adjacent to new Entrance Hallway as illustrated.
 - b. Install new Closet in Bedroom adjacent to Entrance Hallway as illustrated.
 - c. Create a tray ceiling and install skylight as illustrated.
 - d. Install underfloor hot water heating system.
 - e. All finishes and paint colors to be selected by Owner.
19. Deck:
 - a. Remove existing Deck and construct new Deck as illustrated.
 - b. Install Trex "pallets" over membrane roofing. Provide slight pitch and copper "rain outlets" as illustrated.
20. GC to engage Structural Engineer for all necessary Structural Engineering and Documentation.
21. Electrical Sub to provide all electrical work including outlets, wiring of electrical devices, etc. Refer to Electrical Plans, Sheet #6. Outlets as illustrated are for specific locations, all others per Code. Owner to provide all new electrical fixtures and devices.
22. Mechanical Sub to work with GC to determine additional HVAC Requirements. All work to meet Code.
23. GC to maintain a safe, clean, and organized job site at all times.
24. At completion of work, GC to obtain Certificate of Occupancy from the Building Official and transmit to Owner any operational manuals, warranties, etc. that may apply.



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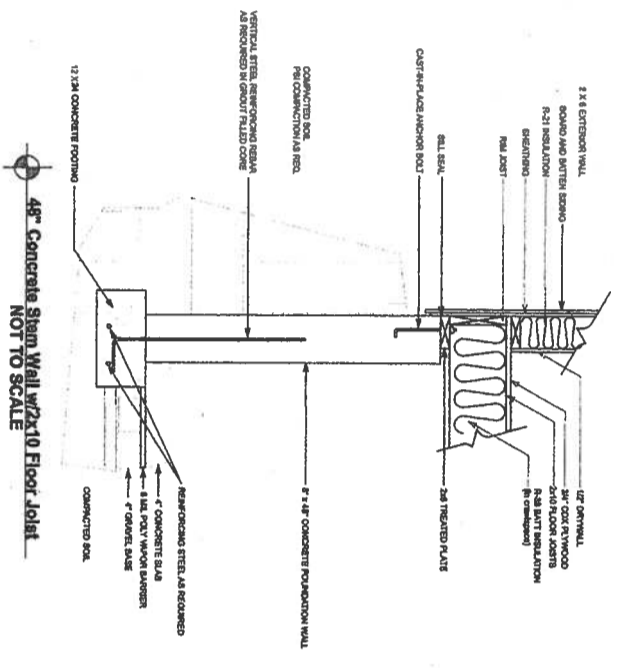
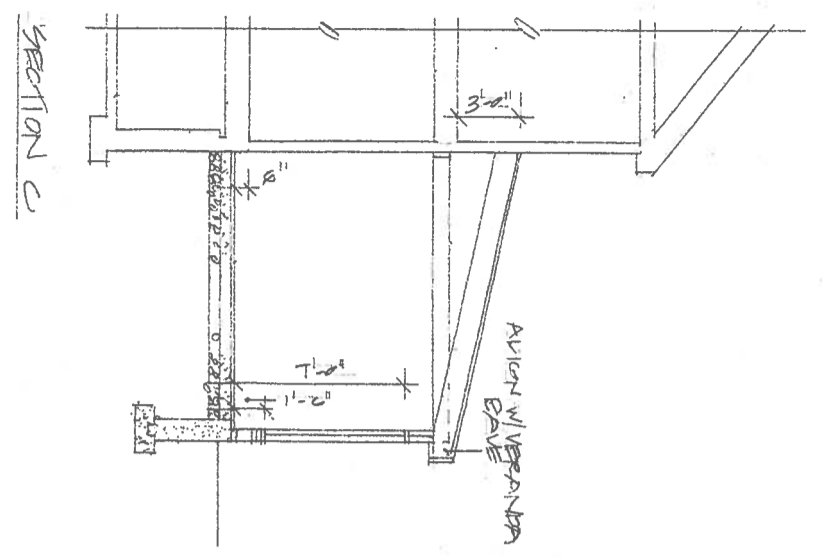
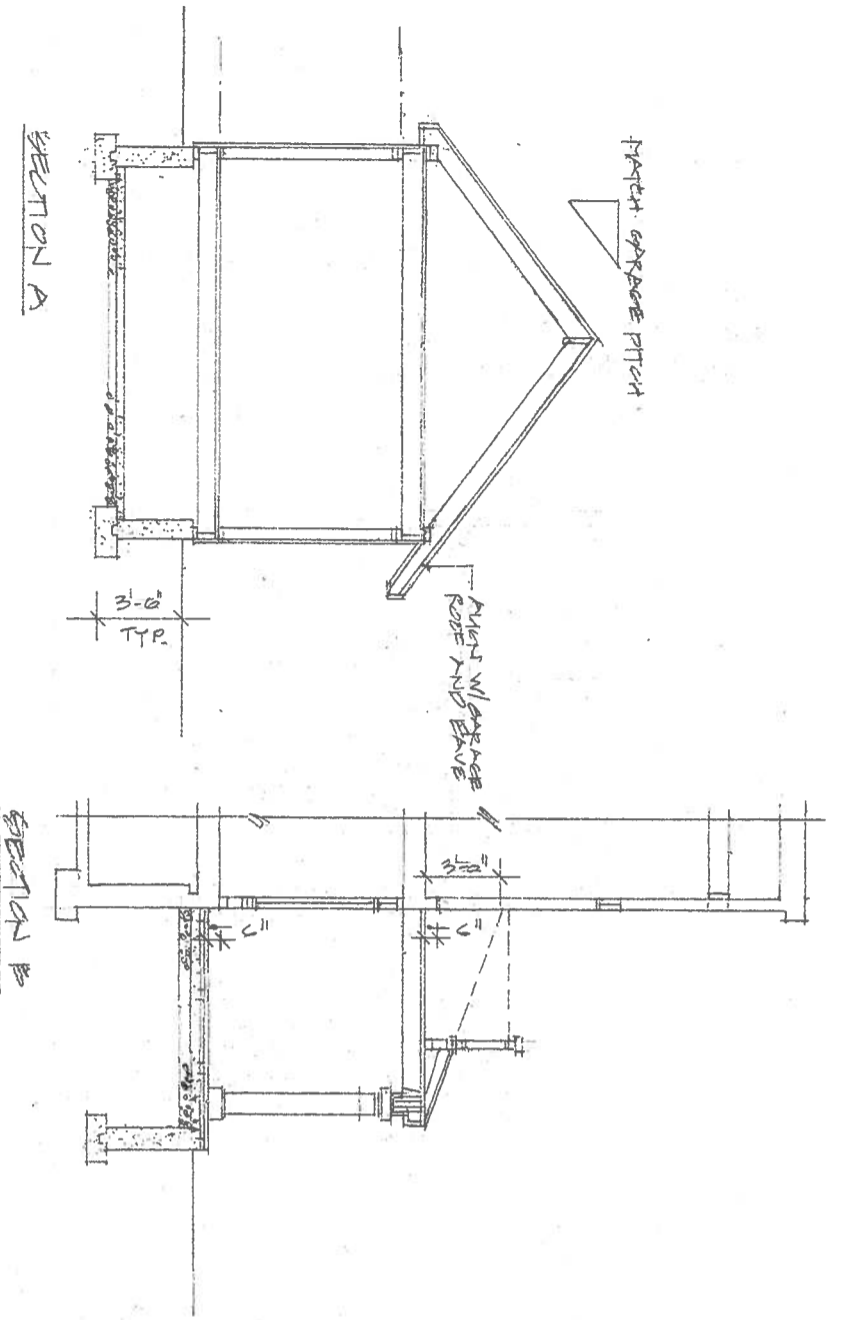
OWNER: TARRA BEVERIDGE
 DATE: 04/24/24
 PROJECT: 500 WINDY CREEK



JOHN P. SEVERIDGE, AIA
 Architect
 18 River Road
 Essex, CT 06426

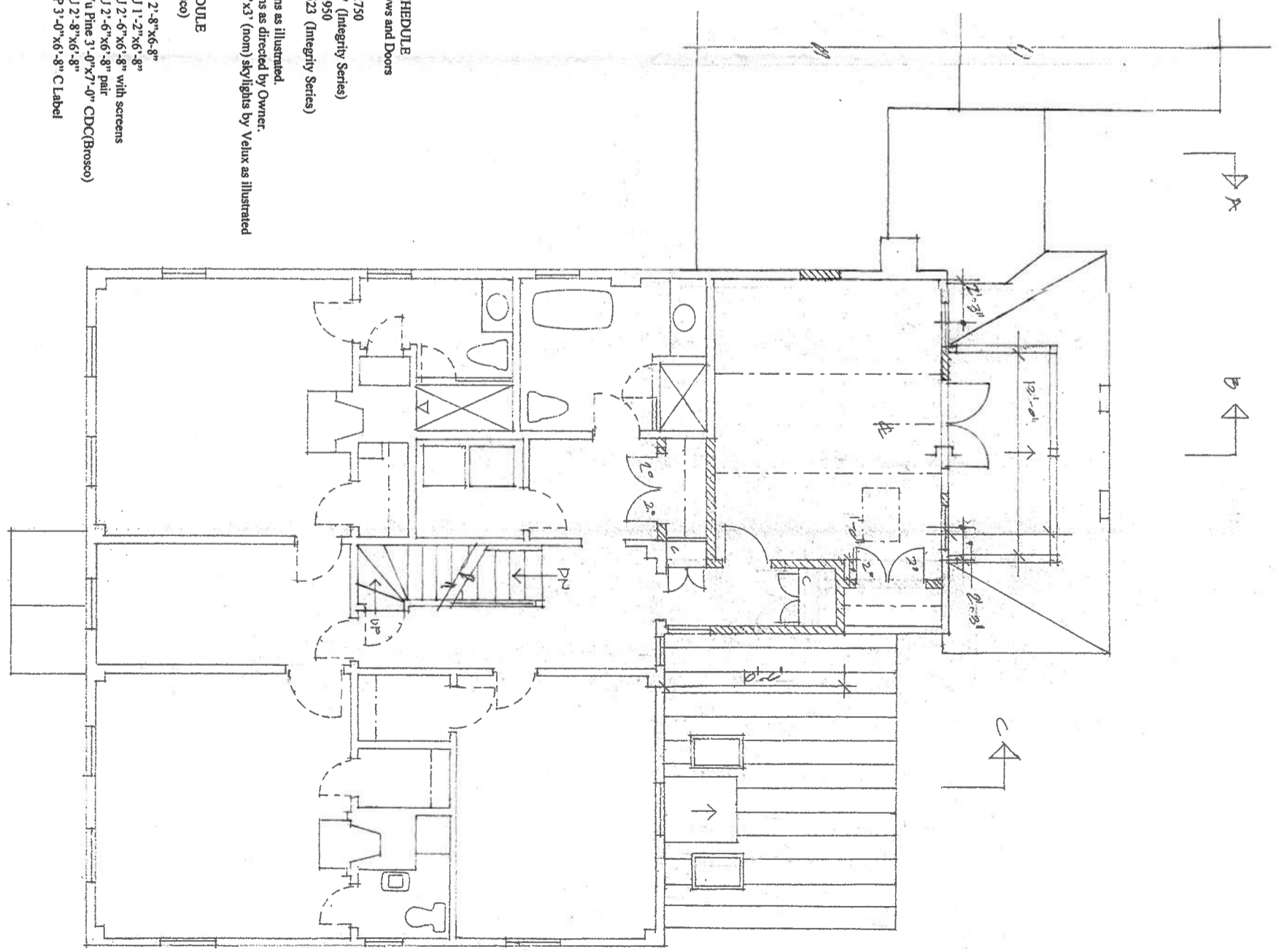
Proposed FIRST FLOOR
 APPROVED BY
 TOWN RESIDENTS





48" Concrete Stem Wall w/2x10 Floor Joist
NOT TO SCALE

- WINDOW SCHEDULE**
Marvin Windows and Doors
- WPCIR2750
 - ICA2547 (Integrity Series)
 - WPCIR3950
 - LAN2523 (Integrity Series)
- Muntin patterns as illustrated.
Provide screens as directed by Owner.
Install three 2'x3' (nom) skylights by Velux as illustrated
- DOOR SCHEDULE**
Simpson (Brosco)
- F-7130U 2'-8"x6'-8"
 - F-37703U 1'-2"x6'-8"
 - F-37015U 2'-6"x6'-8" with screens
 - F-37015U 2'-6"x6'-8" half
 - F-Ultra-Va Pine 3'-0"x7'-4" CD(CBrosco)
 - F-37015U 2'-8"x6'-8"
 - F-9266RP 3'-0"x6'-8" C Label

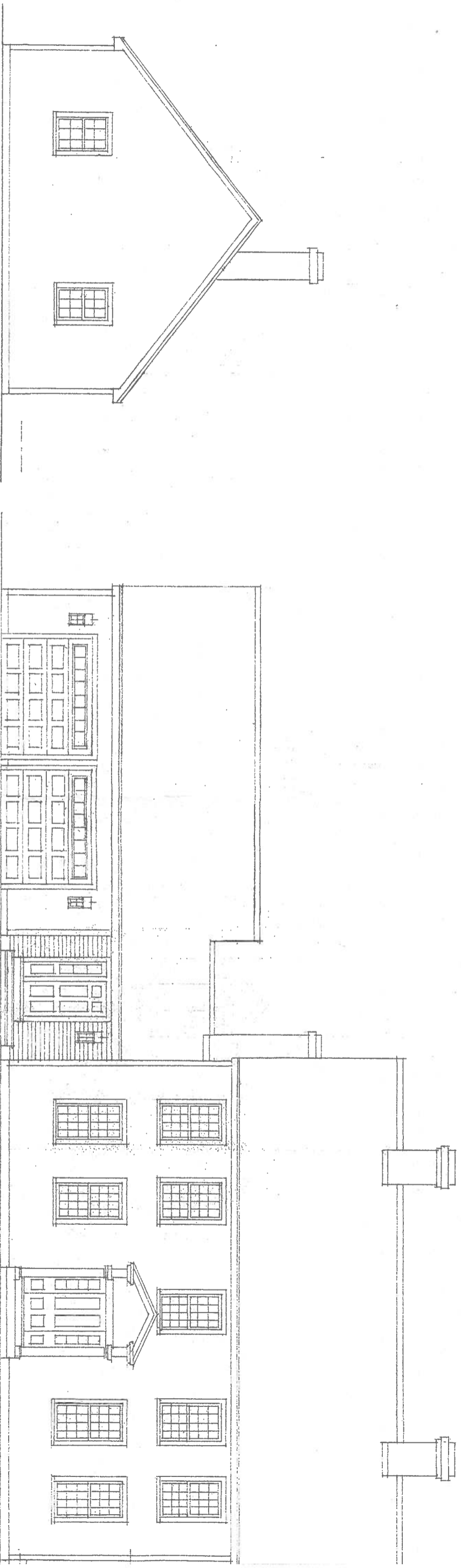


JOHN P. BEVERIDGE, AIA
Architect

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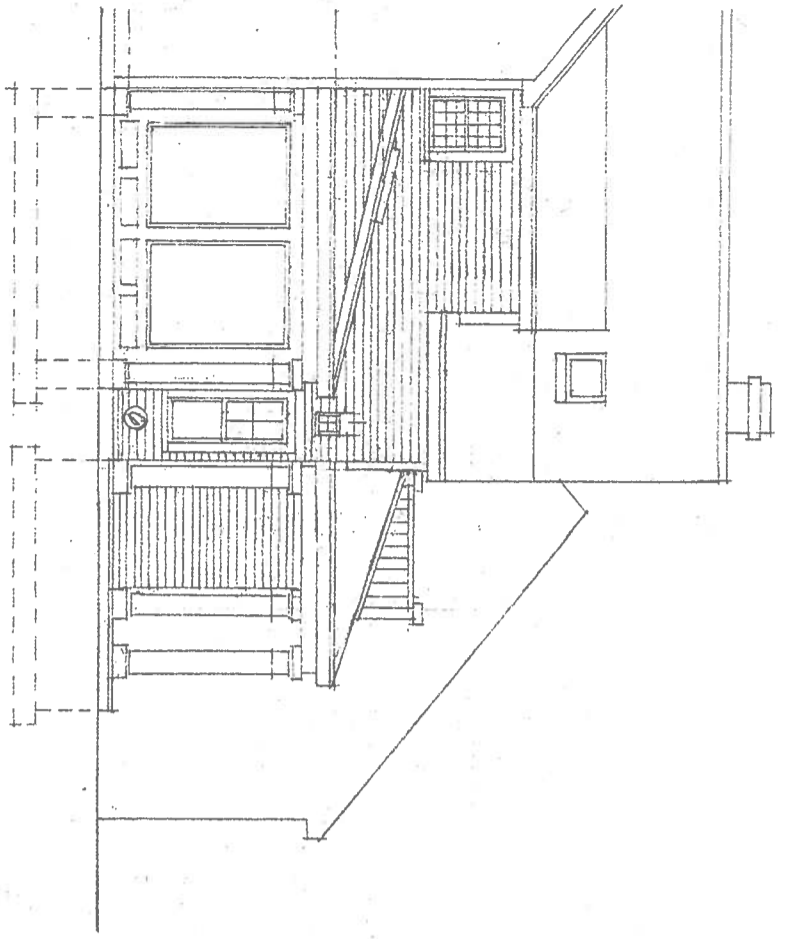
PROPOSED SECOND FLOOR PLAN APPROVED BY:
DATE: 1/24/24

JOHN P. BEVERIDGE, AIA
RESIDENT
500 MAIN STREET

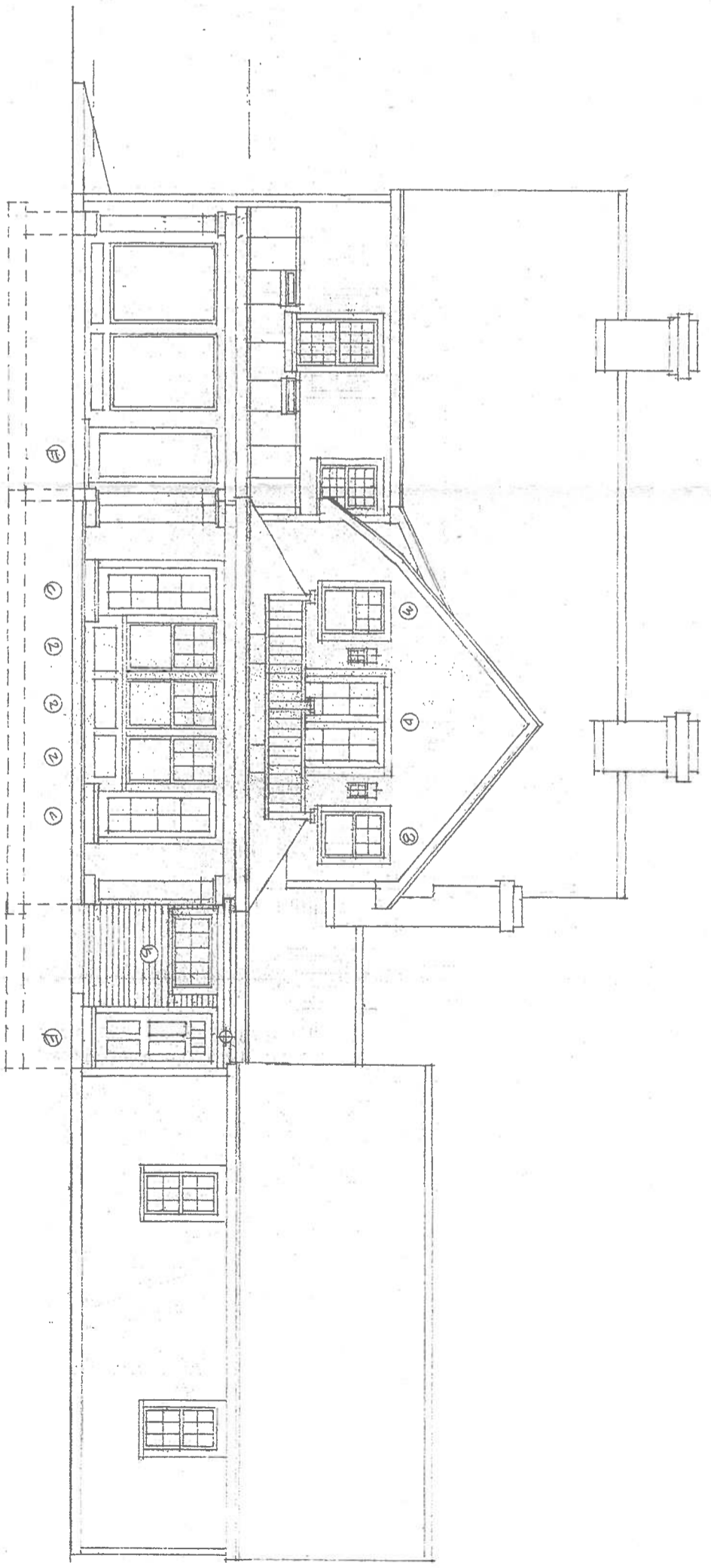


WEST ELEVATION GARAGE

SOUTH ELEVATION



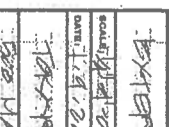
EAST ELEVATION



NORTH ELEVATION



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 john@jpbear.com

EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"
 DATE: 11/11/2011
 APPROVED BY:

 JOHN P. BEVERIDGE, AIA
 ARCHITECT