

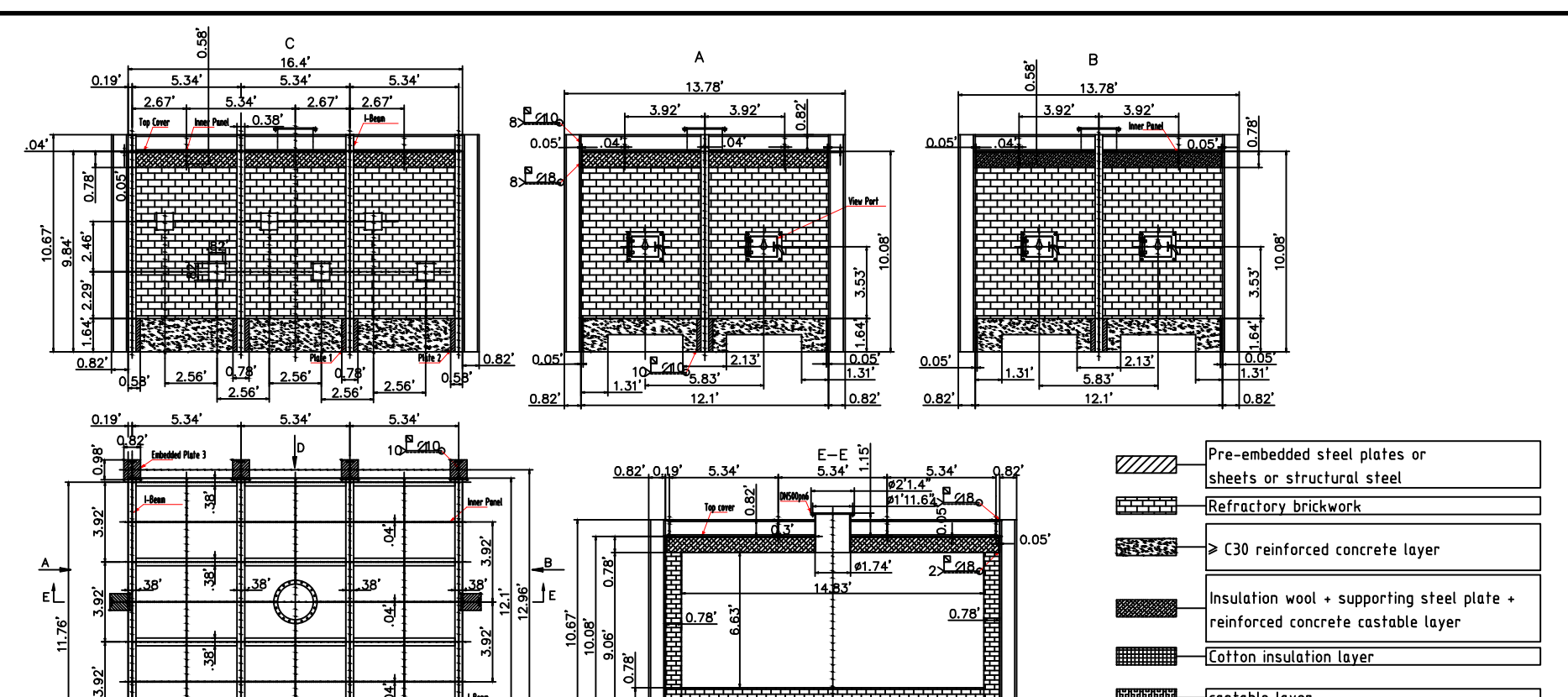
PROPOSED COOLING TOWER DETAILS
(NOT TO SCALE)

WALLS SHALL BE BUILT OF CONCRETE BLOCKS OR BRICKS. PRECAST CONCRETE OR CLASS A CONCRETE BRICKS OR PRECAST CONCRETE UNITS TO BE LAD IN CEMENT SAND MORTAR 1:2 MIX. JOINTS TO BE NOT OVER 1/4" ON INSIDE FACE. ALL JOINTS ARE TO BE POINT FLUSH & FULL.

END OF ALL PIPES SHALL BE CUT FLUSH WITH INSIDE WALL OF MANHOLE.

BRICK WALLS ARE TO BE PLASTERED OUTSIDE WITH 1/2" CEMENT MORTAR 1/2" THICK. BRICK MUST BE WET WHEN MORTAR IS APPLIED. WALLS SHALL BE A MINIMUM OF 8" WITH PRECAST UNITS OR CLASS A CONCRETE.

WALL SHALL BE 12" THICK WHEN DEPTH IS A GREATER THAN 10".



PROPOSED EXHAUST CLEANSING ROOM DETAILS
(NOT TO SCALE)

Pre-embedded steel plates or sheets or structural steel
Refractory brickwork
C30 reinforced concrete layer
Insulation wool + supporting steel plate + reinforced concrete castable layer
Gotton insulation layer
castable layer

Note:
1. Refractory cotton must be compacted during the process of refractory cotton bedding.
2. The refractory cotton will have a slight collapsing compaction effect after the casting material has been poured.
3. The refractory pouring material must cover all the housing fissures and voids.
4. This picture is a sample drawing paper, site installation and construction to the actual situation, pay attention to the amount of refractory material to ensure that the construction is strong to level.
5. Refractory brick construction should pay attention to the masonry process, must comply with the furnace masonry construction standards.
6. The temperature of castable material, refractory sand, refractory cement and refractory stone is >900°C.
7. The top cover drawings are detailed in the top cover welding drawing set of drawings.
8. Construction requirements and construction arrangements, as well as bolting, etc. please comply with the requirements of the installation engineer.



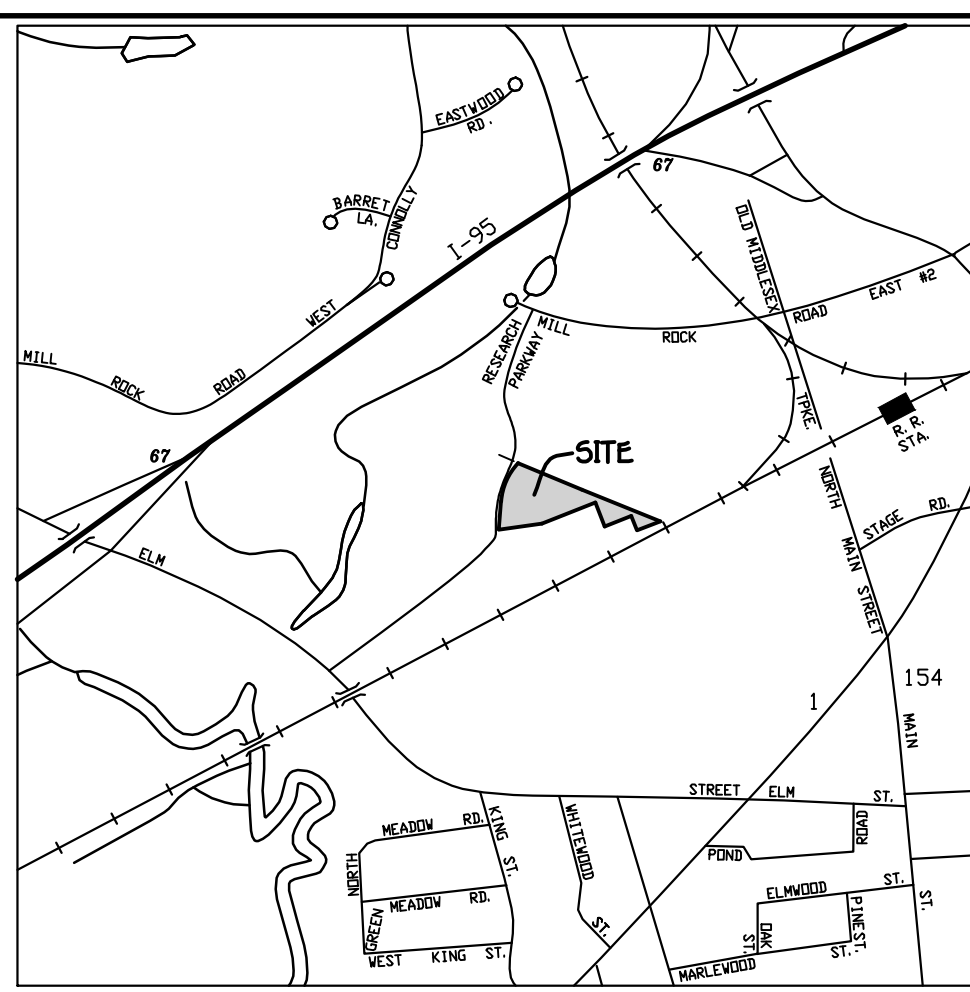
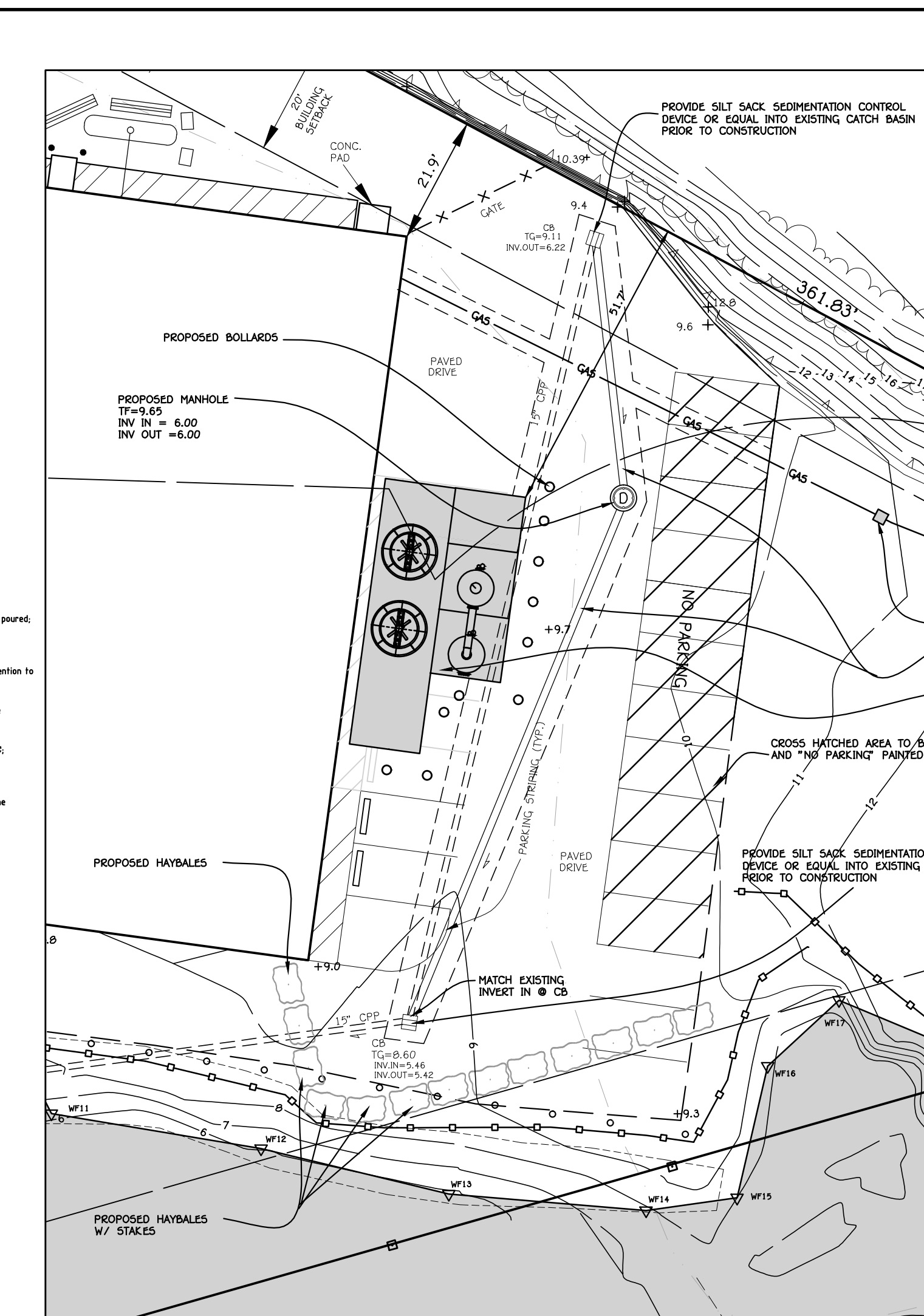
STORM DRAIN MANHOLE
(NOT TO SCALE)

CLASS "A" CONC.
DIA. VARIES WITH WALL THICKNESS

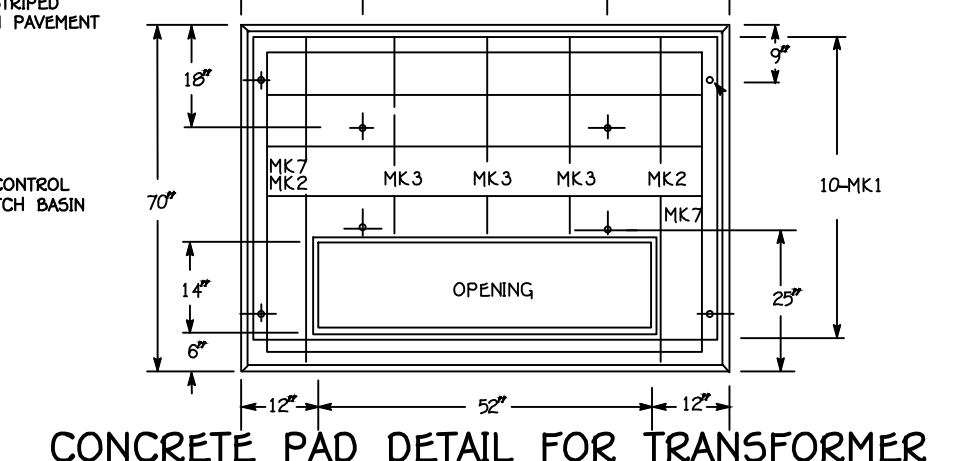
ZONING DATA TABLE
ZONING DISTRICT I-1

ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA WITH PUBLIC WATER	40,000 S.F.	134,812 S.F.	134,812 S.F.
MINIMUM FRONTAGE	50'	378.72'	378.72'
SETBACKS			
FROM STREETLINE	50'	84.3'	84.3'
FROM REAR PROPERTY LINE	20'	>20'	>20'
FROM OTHER PROPERTY LINE	20'	(N) 21.9'/(S) 50.8'	(N) 21.9'/(S) 50.8'
COVERAGE			
BUILDING/STRUCTURE COVERAGE	40%	20.5%	21.2%
GROSS FLOOR AREA	80%	27,687 SF	28,612 SF
MAXIMUM BLDG. HEIGHT	50'	31,024 SF*	31,024 SF*
		<50'	<50'

* EXISTING GROSS FLOOR AREA PROVIDED BY TENANT

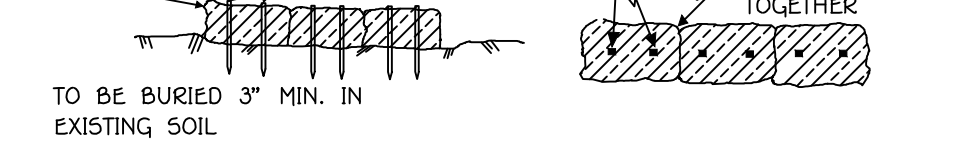


LOCATION MAP
SCALE: 1"=1000'



CONCRETE PAD DETAIL FOR TRANSFORMER
(NOT TO SCALE)

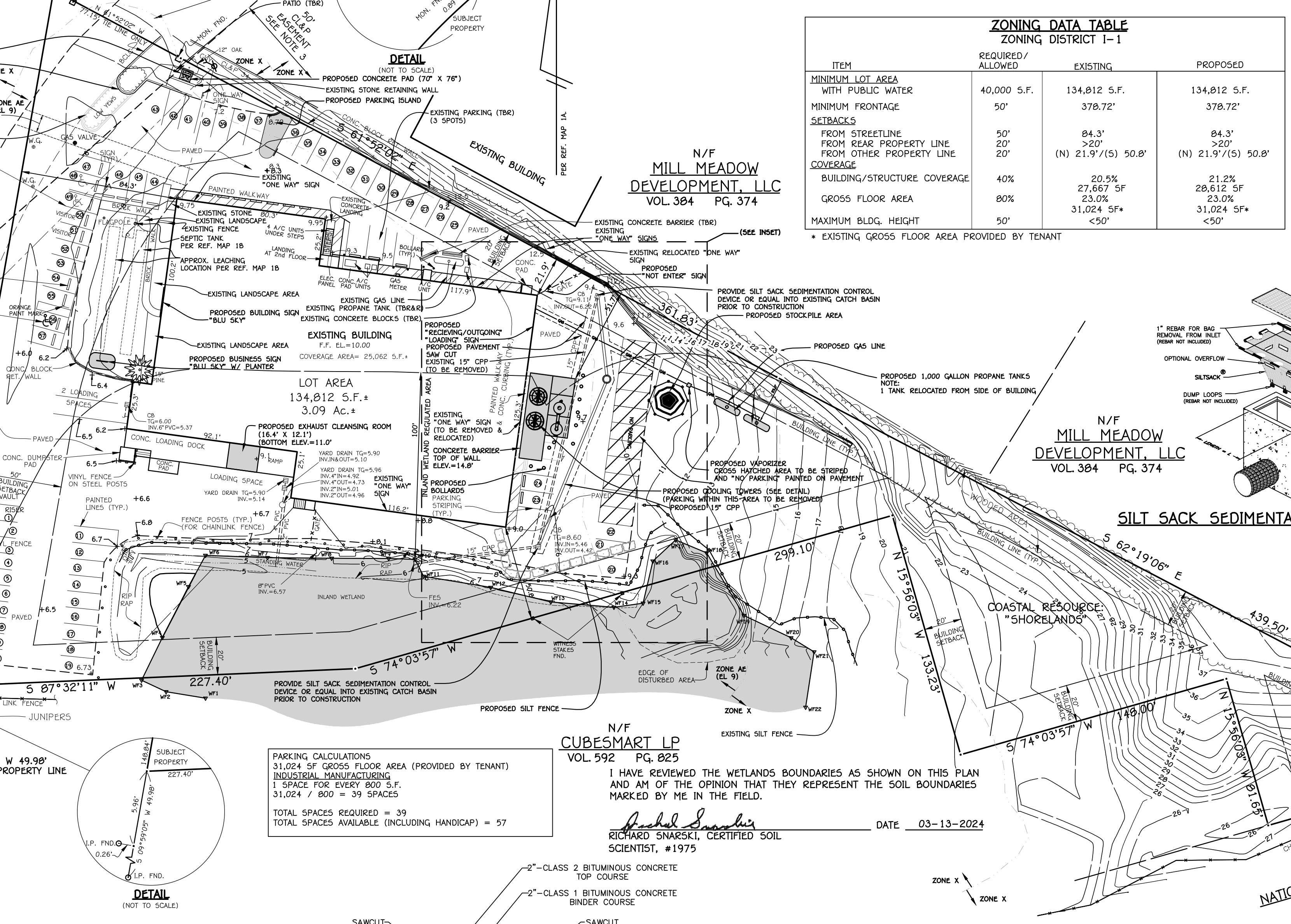
2 - 1"x1"x3" STAKES EACH BAILE
2 - 1"x1"x3" STAKES EACH BAILE TO BUTT TOGETHER



HAY BAILE DETAIL (WITH STAKES)
(NOT TO SCALE)

FRONT VIEW TOP VIEW

NOTES:
1. REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. BOUNDARY PLAN, RESUBDIVISION - LOT "A" ELM INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT DATE: DEC. 21, 1995, REVISED THRU: 5-20-97 BY: ROWLEY, HENDRICKS AND ASSOCIATES, LLC
B. "MODIFIED SITE PLAN PREPARED FOR STARK PROPERTIES, LLC 175-5 ELM STREET, ELM INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT DATE: NOV. 13, 2006 BY: ROWLEY, HENDRICKS AND ASSOCIATES, P.C.
C. SURVEY PLAN, PROPERTY OF MILL MEADOW DEVELOPMENT, MILL ROCK ROAD AND CONNECTICUT TURNPIKE, OLD SAYBROOK, CONNECTICUT DATE: JULY 18, 1989 BY: ANGUS McDONALD / GARY SHARPE & ASSOC. INC.
D. RECORD SUBDIVISION PLAN / SITE DEVELOPMENT PLAN AND SEDIMENTATION & EROSION CONTROL PLAN, PROPERTY OF GREGORY M. COOK, ET AL. MILL ROCK ROAD AND CONNECTICUT TURNPIKE OLD SAYBROOK, CONNECTICUT DATE: AUG. 7, 1987 REVISED THRU: FEB. 17, 1992 BY: ANGUS McDONALD / GARY SHARPE & ASSOC. INC.
E. RESUBDIVISION PLAN / SITE DEVELOPMENT PLAN AND SEDIMENTATION & EROSION CONTROL PLAN, PROPERTY OF LORRAINE M. MARLAND ELM INDUSTRIAL AREA - ELM STREET, OLD SAYBROOK, CONN. DATE: 10/30/81 BY: RADCLIFFE ENGINEERING, P.C.
F. SITE DEVELOPMENT DETAIL PLAN AND EROSION & SEDIMENTATION CONTROL PLAN, RESUBDIVISION - LOT "A" ELM INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT DATE: DEC. 21, 1995 REVISED THRU: 5-20-97 BY: ROWLEY, HENDRICKS AND ASSOCIATES, P.C.
G. COMPILED MAP ELM INDUSTRIAL PARK OLD SAYBROOK, CONN. DATE: 6/6/83 REV. 10/19/83 BY: RADCLIFFE ENGINEERING.
H. IMPROVEMENT LOCATION SURVEY PLAN, SHOWING PROPOSED IMPROVEMENTS PROPERTY OF STARK PROPERTIES, LLC, ELM STREET, ELM STREET INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT, DATE: MAY 9, 2007 REVISED THRU: 3-18-2008 BY ANGUS McDONALD / GARY SHARPE & ASSOCIATES, INC.
2. FOR SUBJECT PROPERTY, REFERENCE IS MADE TO THE FOLLOWING DEED ON FILE IN THE TOWN OF OLD SAYBROOK LAND RECORDS: VOL. 345 PG. 685 & VOL. 384 PG. 430. LISTED ON ACCESSOR'S MAP 39 AS LOT 8-5
3. PROPERTY IS SUBJECT TO THE FOLLOWING: EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT & POWER COMPANY AS PER VOL. 42 PG. 41, VOL. 94 PG. 264, VOL. 173 PG. 284, VOL. 39 PG. 41, VOL. 39 PG. 512 & EASEMENT IN FAVOR OF THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY AS PER VOL. 116 PG. 202.
4. CONTOURS AND ELEVATIONS SHOWN ARE BY FIELD SURVEY BASED ON NAVD 1988 DATUM
5. ENTIRE PROPERTY LIES WITHIN THE COASTAL AREA MANAGEMENT (CAM) ZONE.
6. FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, CONNECTICUT, MAP #09007C03421, MAP REVISED FEBRUARY 6, 2013.



N/F MILL MEADOW DEVELOPMENT, LLC
VOL. 384 PG. 374

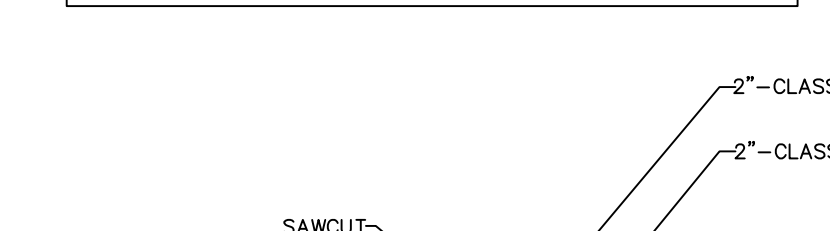
N/F CUBESMART LP
VOL. 592 PG. 825

I HAVE REVIEWED THE WETLANDS BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THEY REPRESENT THE SOIL BOUNDARIES MARKED BY ME IN THE FIELD.

Richard Snarski
RICHARD SNARSKI, CERTIFIED SOIL SCIENTIST, #1975

DATE 03-13-2024

PARKING CALCULATIONS
31,024 SF GROSS FLOOR AREA (PROVIDED BY TENANT)
INDUSTRIAL MANUFACTURING
1 SPACE FOR EVERY 800 S.F.
31,024 / 800 = 39 SPACES
TOTAL SPACES REQUIRED = 39
TOTAL SPACES AVAILABLE (INCLUDING HANDICAP) = 57

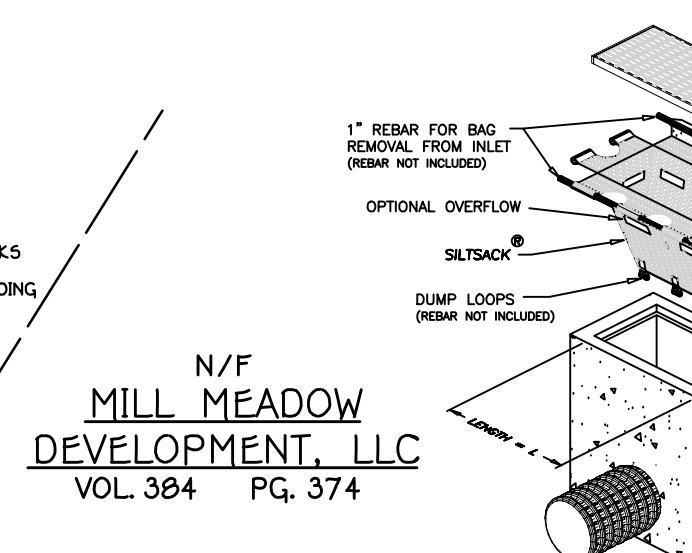


PERMANENT PAVEMENT REPAIR
(NOT TO SCALE)

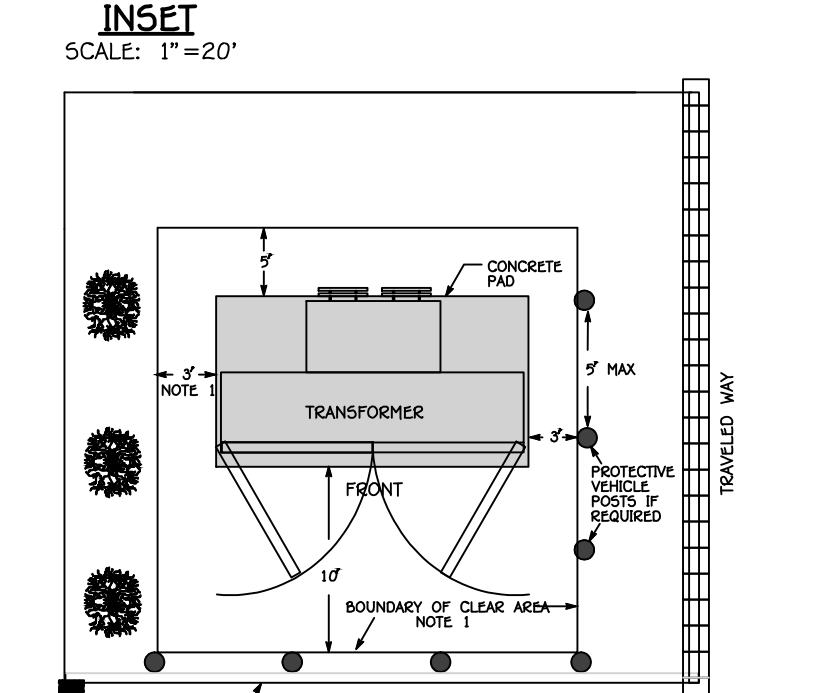
2"-CLASS 2 BITUMINOUS CONCRETE TOP COURSE
2"-CLASS 1 BITUMINOUS CONCRETE BINDER COURSE
EXISTING UNDISTURBED PAVEMENT (TYP.)
ROLLED GRANULAR BASE

*INCREASE DIMENSION TO 1'-6" WHERE TRENCH OUT IS THROUGH PORTLAND CEMENT CONCRETE PAVEMENT.

NOTES:
1. CLEAN ALL SURFACES OF EXISTING PAVEMENT AND APPLY ASPHALT EMULSION, JUST PRIOR TO PLACEMENT.
2. MATCH EXISTING PAVEMENT SURFACE ELEVATIONS AT SAWCUT LINES.



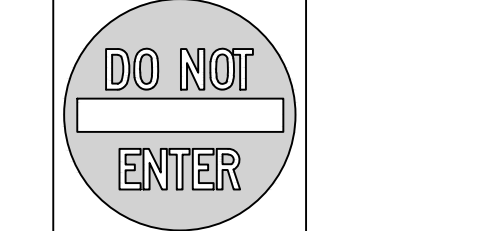
SILT SACK SEDIMENTATION CONTROL DEVICE OR EQUAL
(NOT TO SCALE)



PAD MOUNTED TRANSFORMERS
(NOT TO SCALE)

NOTES:
1. TO INSPECT, PROVIDE ACCESS, OPERATE ELBOW CONNECTORS AND VENTILATE THE TRANSFORMER, THE ABOVE SPECIFIED CLEAR AREA DISTANCES TO BUILDINGS OR SHRUBS SHALL BE MAINTAINED. THE DISTANCE FROM THE BUILDING IS TO THE CONCRETE TRANSFORMER PAD. PROPERTY LINE SHALL BE CONSIDERED AN OBSTRUCTION, SINCE FENCES, SHRUBS, ETC. MAY BE INSTALLED AT A FUTURE DATE BY ADJACENT PROPERTY OWNERS, BECAUSE OF THE POSSIBILITY OF COOLING FINS OVERHANGING THE PAD, SIDE CLEARANCES TO BE INCREASED TO 5 FEET FOR TRANSFORMERS 1000 KVA AND LARGER.
2. IF NO CURB EXISTS, OR TRANSFORMER IS LOCATED CLOSER THAN 10 FEET TO THE TRAVELED WAY, PROTECTIVE VEHICLE POSTS (●) SHALL BE INSTALLED AS SPECIFIED IN DTR 42.061
3. TOP OF TRANSFORMER PAD SHALL BE INSTALLED 3 INCHES ABOVE FINAL GRADE.
4. TRANSFORMER SHALL NOT BE LOCATED ON STEEP GRADES WHERE ACCESS TO OR ELBOW OPERATION IS MADE DIFFICULT.
5. TRANSFORMER SHALL MEET THE MINIMUM DISTANCES TO DOORS, WINDOWS, FIRE ESCAPES, AIR INTAKES AND WALLS AS - DTR 42.061 SPECIFIED IN IS NOT
6. TRANSFORMER TO BE LOCATED WITH ITS DOORS FACING THE BUILDING.
7. DTR 58.301 REFERS TO FOR SPECIFIC INSTRUCTIONS ON THE INSTALLATION OF THE TRANSFORMER PAD, AND DTR 58.311 DISEM SECTION 06.32 B. REFER TO (NH) FOR INFORMATION ON ENVIRONMENTAL CONSIDERATIONS.
APPROVED BY THE OLD SAYBROOK ZONING COMMISSION

- LEGEND**
- UTILITY POLE
 - CONC. MON. CONCRETE MONUMENT
 - FND. FOUND
 - IP. IRON PIPE
 - D.H. DRILL HOLE
 - EXISTING CONTOURS
 - EXISTING SPOT ELEVATION
 - FIRE HYDRANT
 - EDGE OF WETLAND/FLAG NUMBER
 - W.G. WATER GATE
 - CB. CATCH BASIN
 - CPP. CORRUGATED PLASTIC PIPE
 - FES. FLARED END SECTION
 - INV. INVERT (TBRAR) TO BE REMOVED AND RELOCATED
 - TG. TOP OF GRADE TO BE REMOVED
 - EXISTING PARKING SPACE COUNT



DO NOT ENTER SIGN DETAIL
(NOT TO SCALE)

ONE WAY SIGN DETAIL
(NOT TO SCALE)

PERMANENT PAVEMENT REPAIR
(NOT TO SCALE)

BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION. PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.

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CERTIFICATION NOTES:
1. THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300-1 THROUGH 20-300-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
A. TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY
B. BOUNDARY DETERMINATION: RESURVEY
C. THIS SURVEY CONFORMS TO THE STANDARDS AND ACCURACY OF CLASS A-2 & T-2.

50 30 20 10 0 40 60 80 100 120
SCALE IN FEET

ANGUS L. McDONALD JR.
CONN. L.S. #70173

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAND & MARINE SURVEYING ENGINEERING PLANNING

ANGUS McDONALD GARY SHARPE & ASSOCIATES, INC.
SINCE 1966

P.O. BOX 608, 245 BOSTON POST ROAD
OLD SAYBROOK, CONNECTICUT 06475
TEL. (860) 388-4671 FAX (860) 388-3868

IMPROVEMENT LOCATION SURVEY PREPARED FOR BLUSKY CARBON
175-5 ELM STREET
ELM STREET INDUSTRIAL PARK
OLD SAYBROOK, CONNECTICUT

DATE: MARCH 13, 2024 SCALE: 1"=40'
DRN MCM CK'D APP'D
SHEET 1 of 1 JOB NO. 246708
REVISIONS: 4-17-24 - TOWN ENGINEER'S COMMENTS ADDRESSED
4-25-24 - PROPOSED CLIENT'S COMMENTS ADDRESSED
5-24-24 - TOWN ENGINEER'S COMMENTS ADDRESSED