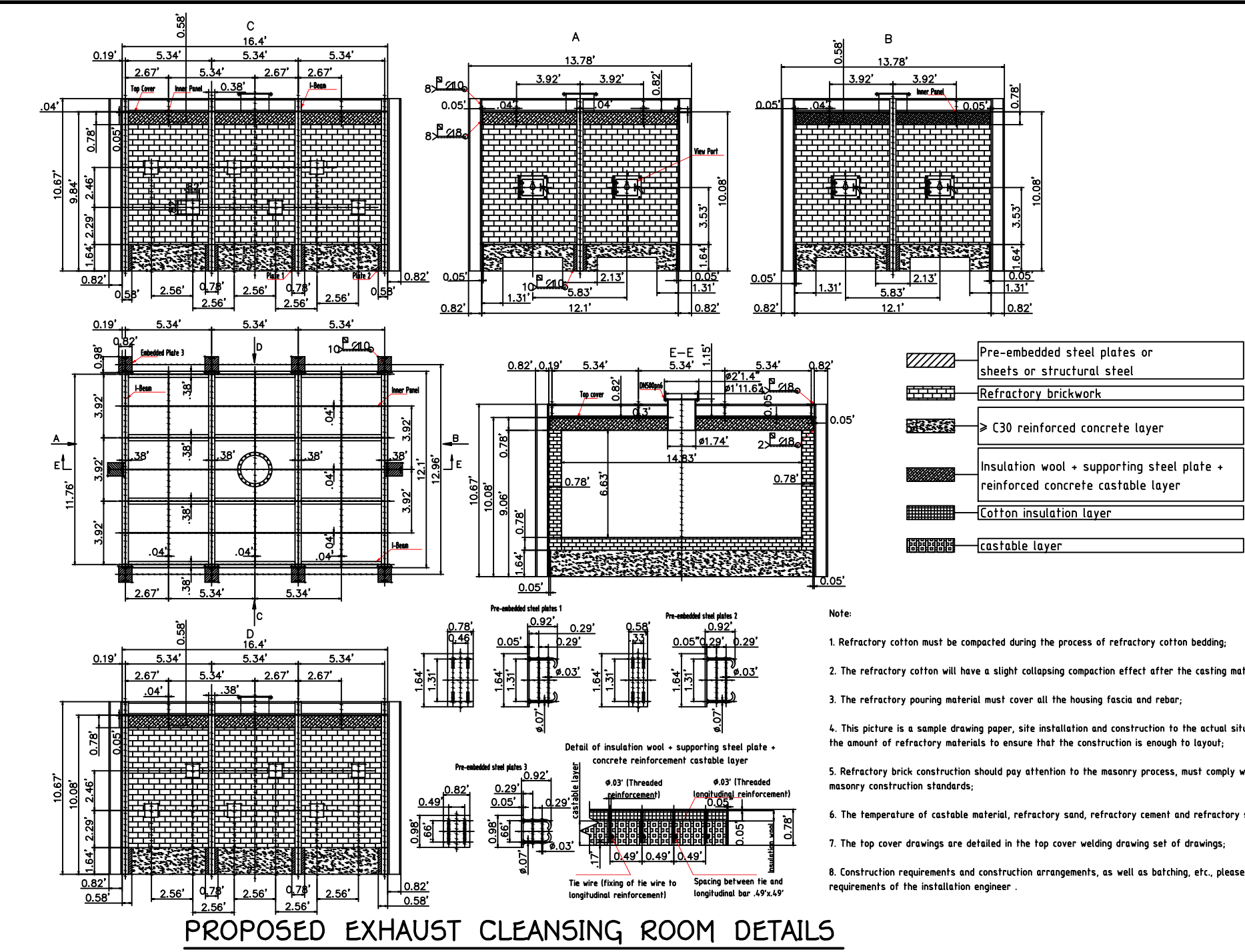


PROPOSED COOLING TOWER DETAILS
(NOT TO SCALE)

WALLS SHALL BE BUILT OF BRICK, PRECAST CONCRETE OR CLASS A CONCRETE BRICKS OR PRECAST CONCRETE UNITS TO BE LAID IN CEMENT SAND MORTAR 1:2 MIX. JOINTS TO BE NOT OVER 1/4" ON INSIDE FACE. ALL JOINTS ARE TO BE POINTED FLUSH & FULL.

BRICK WALLS ARE TO BE PLASTERED OUTSIDE WITH 1/2" CEMENT MORTAR 1/2" THICK. BRICK MUST BE WET WHEN MORTAR IS APPLIED. WALLS SHALL BE A MINIMUM OF 8" WITH PRECAST UNITS OR CLASS A CONCRETE.

WALL SHALL BE 12" THICK WHEN DEPTH IS A GREATER THAN 10".



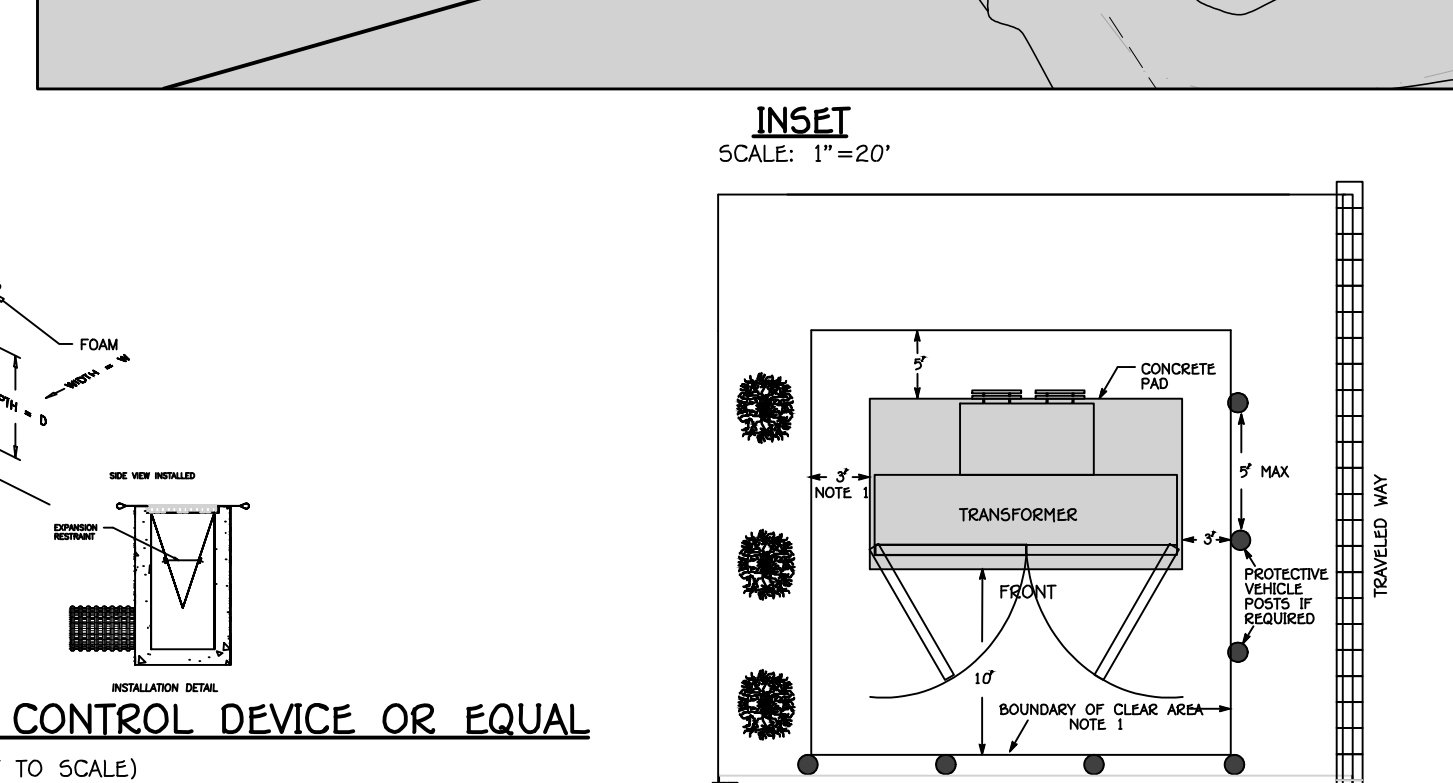
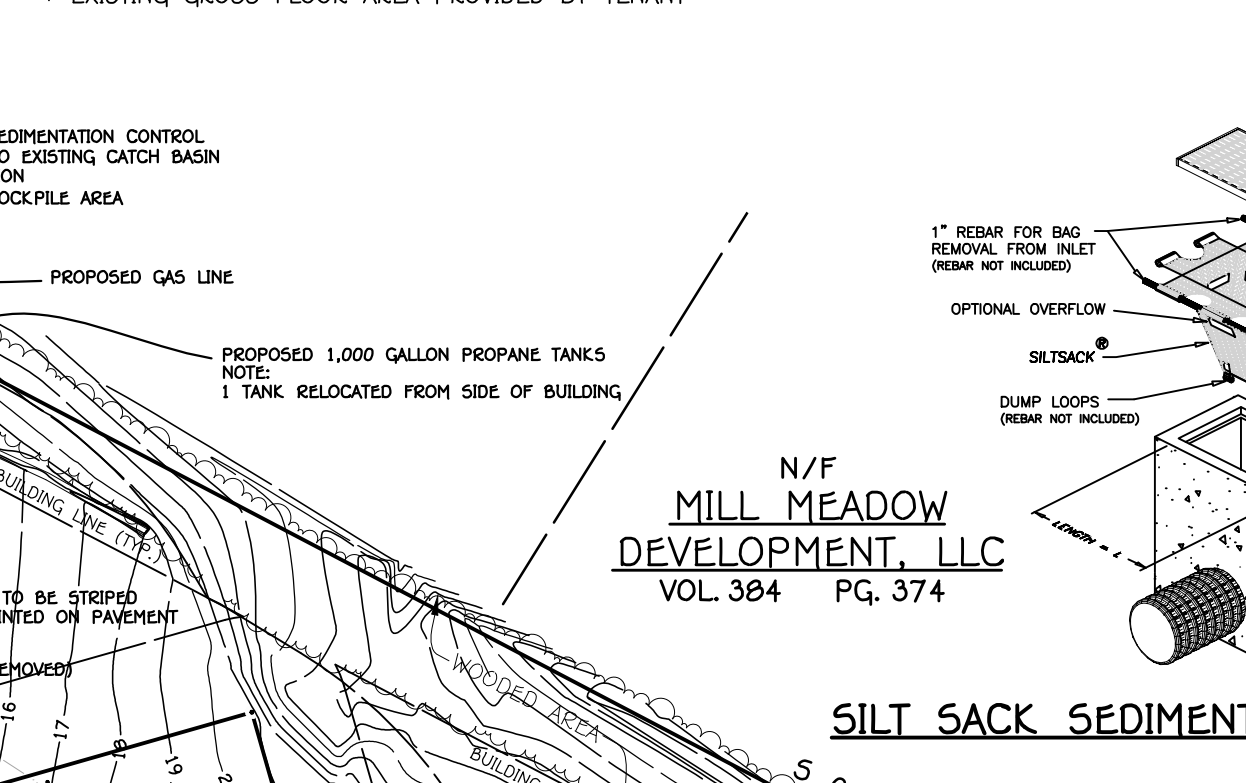
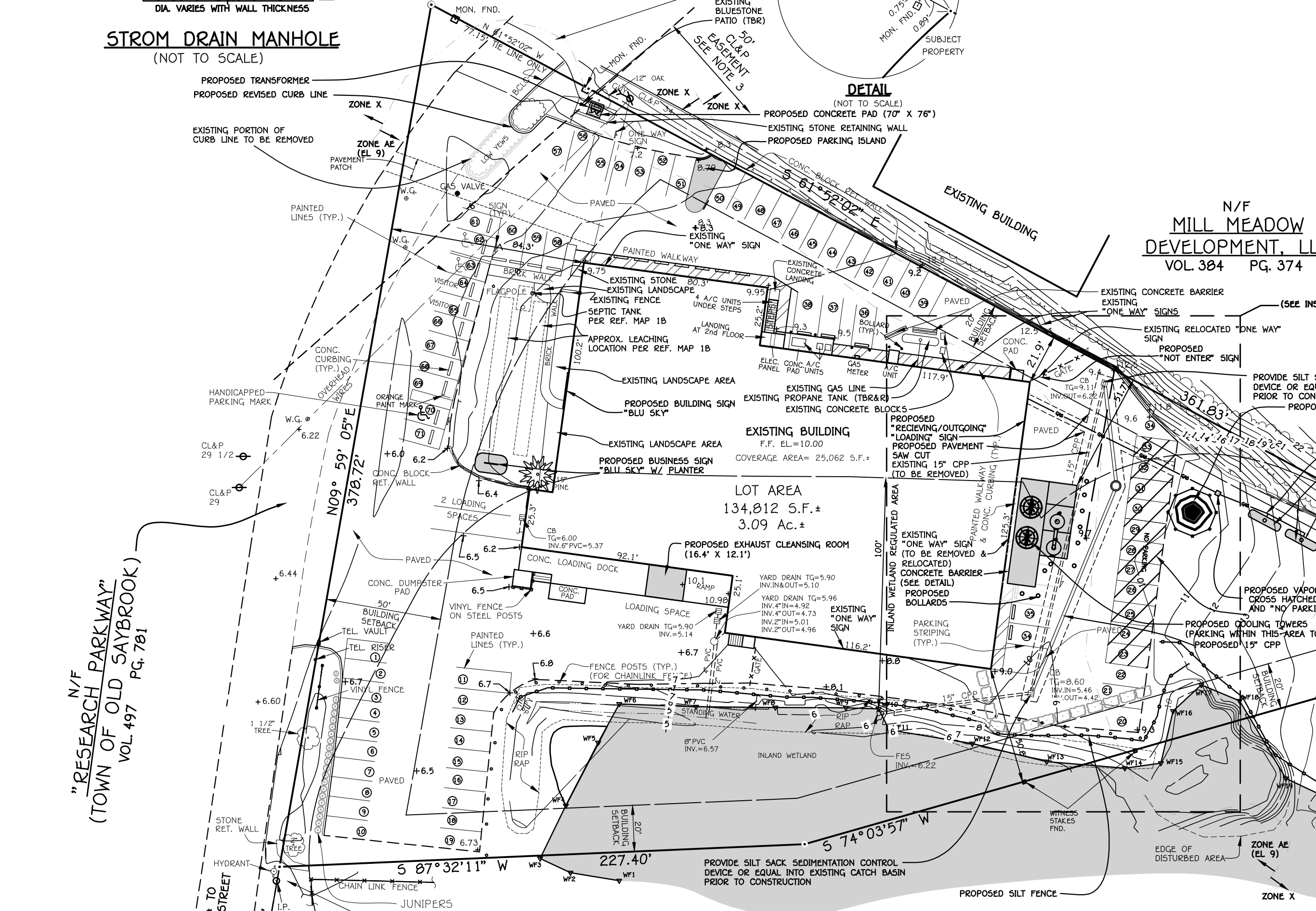
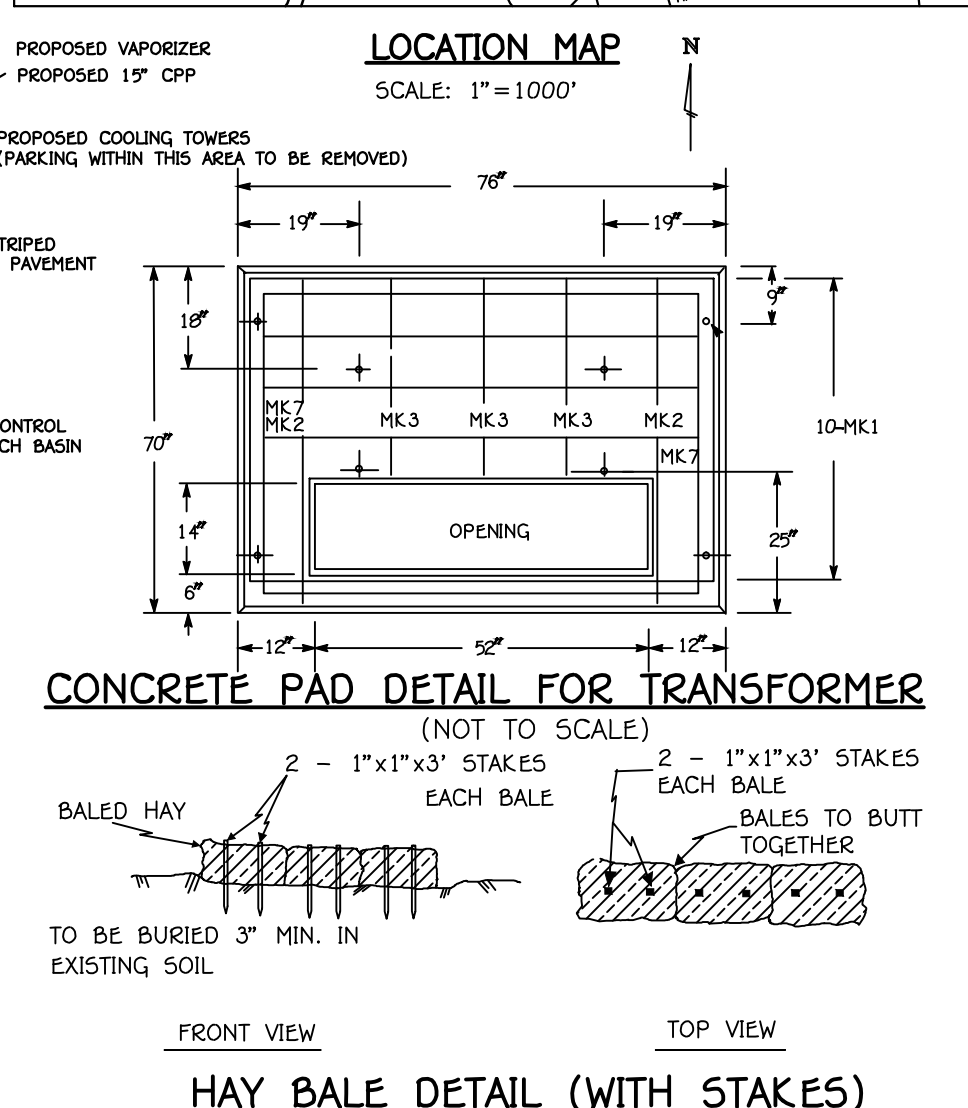
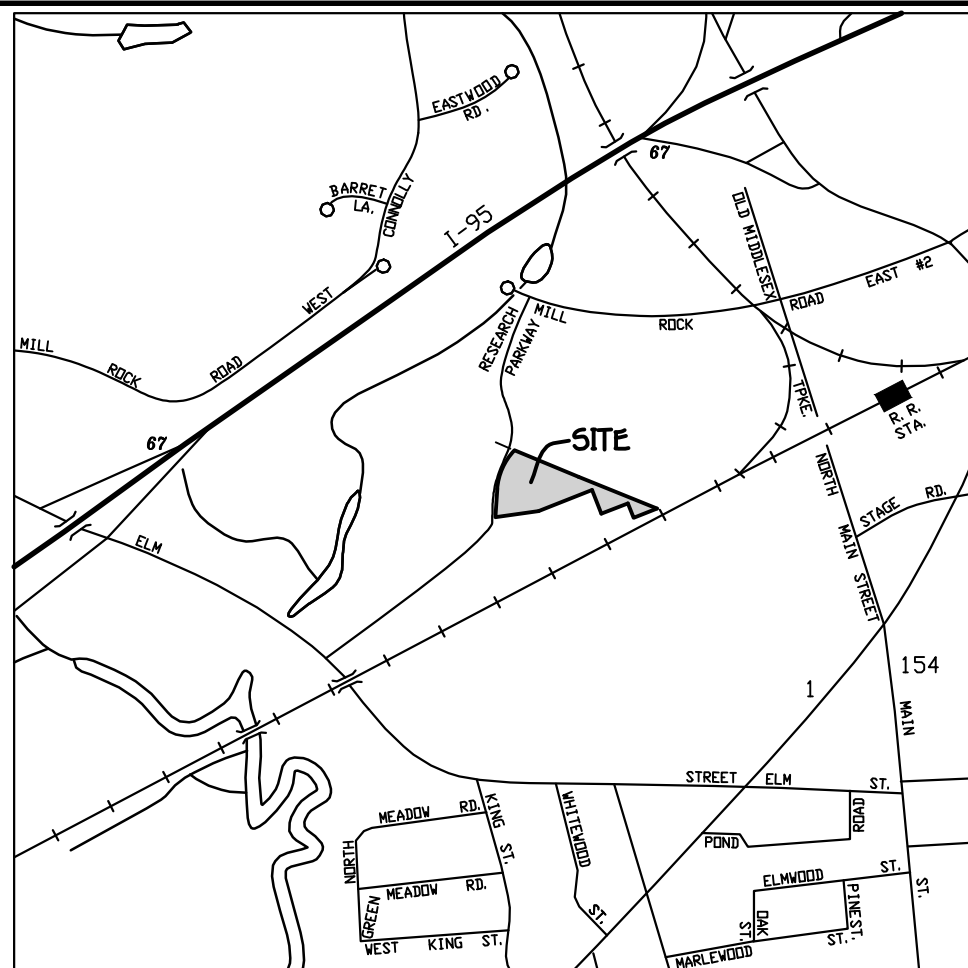
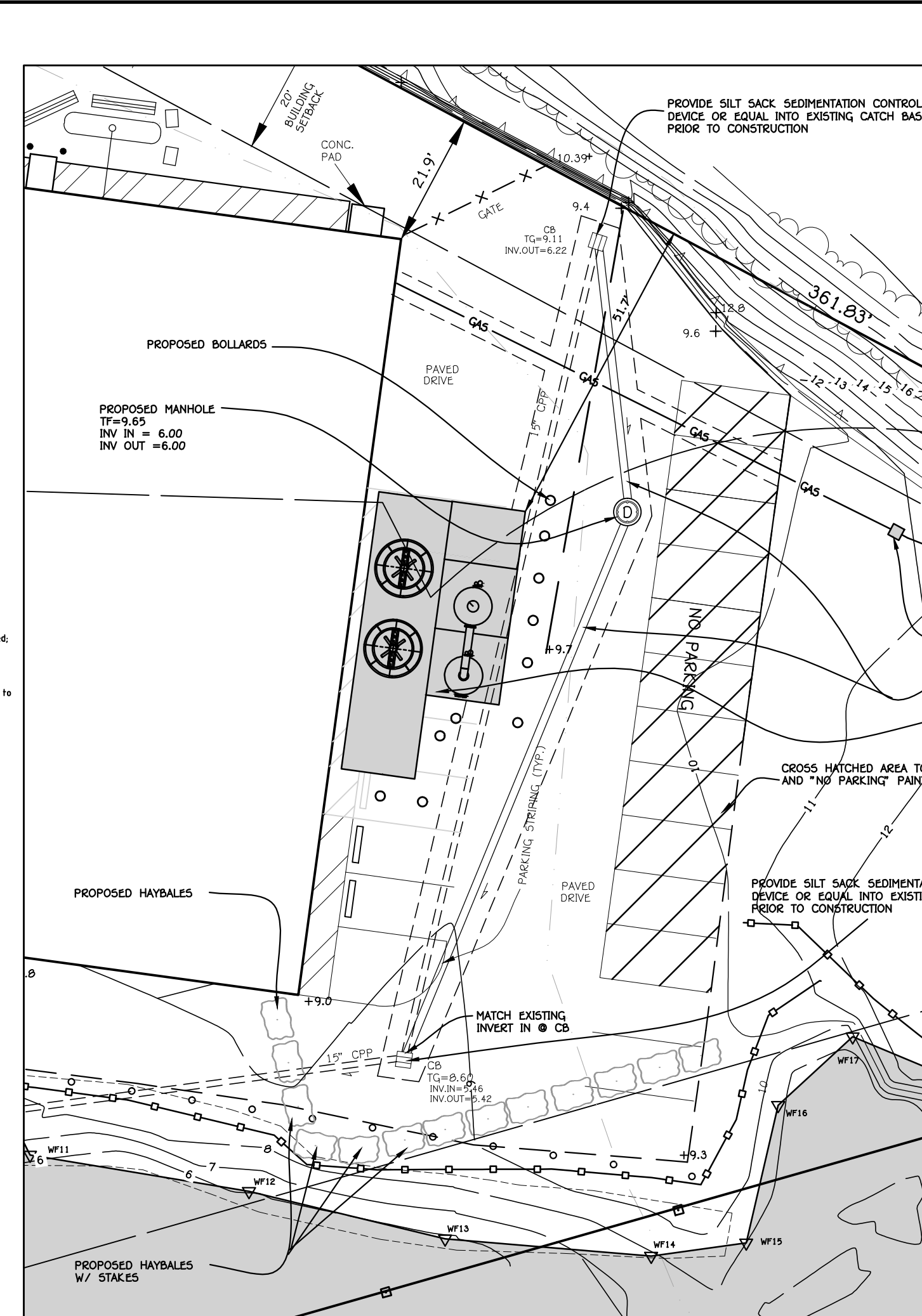
PROPOSED EXHAUST CLEANSING ROOM DETAILS
(NOT TO SCALE)

1. Refractory cotton must be compacted during the process of refractory cotton bedding.
2. The refractory cotton will have a slight collapsing compaction effect after the casting material has been poured.
3. The refractory pouring material must cover all the housing faces and rebar.
4. This picture is a sample drawing paper, site installation and construction to the actual situation, pay attention to the amount of refractory material to ensure that the construction is enough to level.
5. Refractory brick construction should pay attention to the masonry process, must comply with the furnace masonry construction standards.
6. The temperature of castable material, refractory sand, refractory cement and refractory stone is 1500°C.
7. The top cover drawings are detailed in the top cover welding drawing set of drawings.
8. Construction requirements and construction arrangements, as well as batching, etc., please comply with the requirements of the installation engineer.

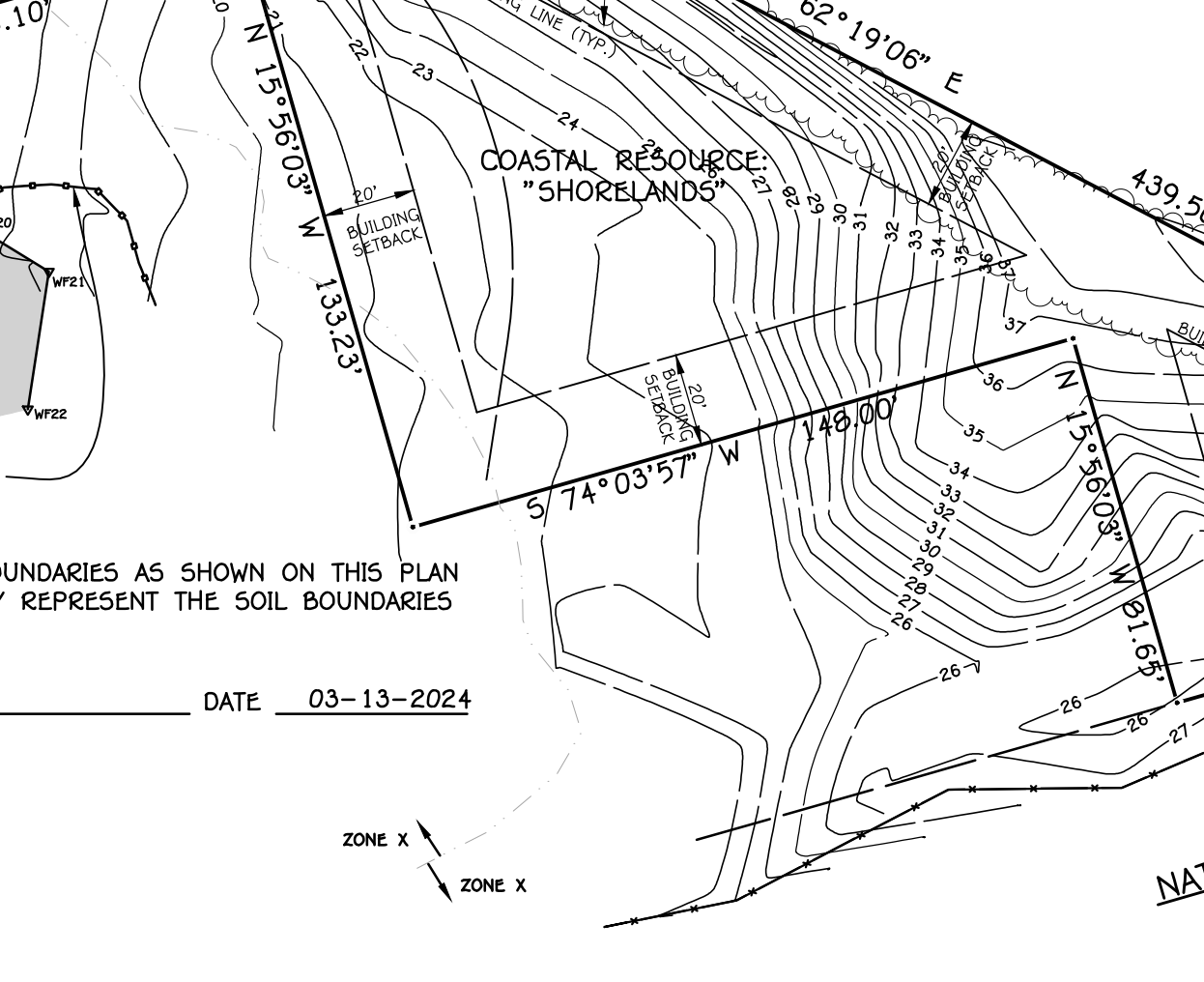
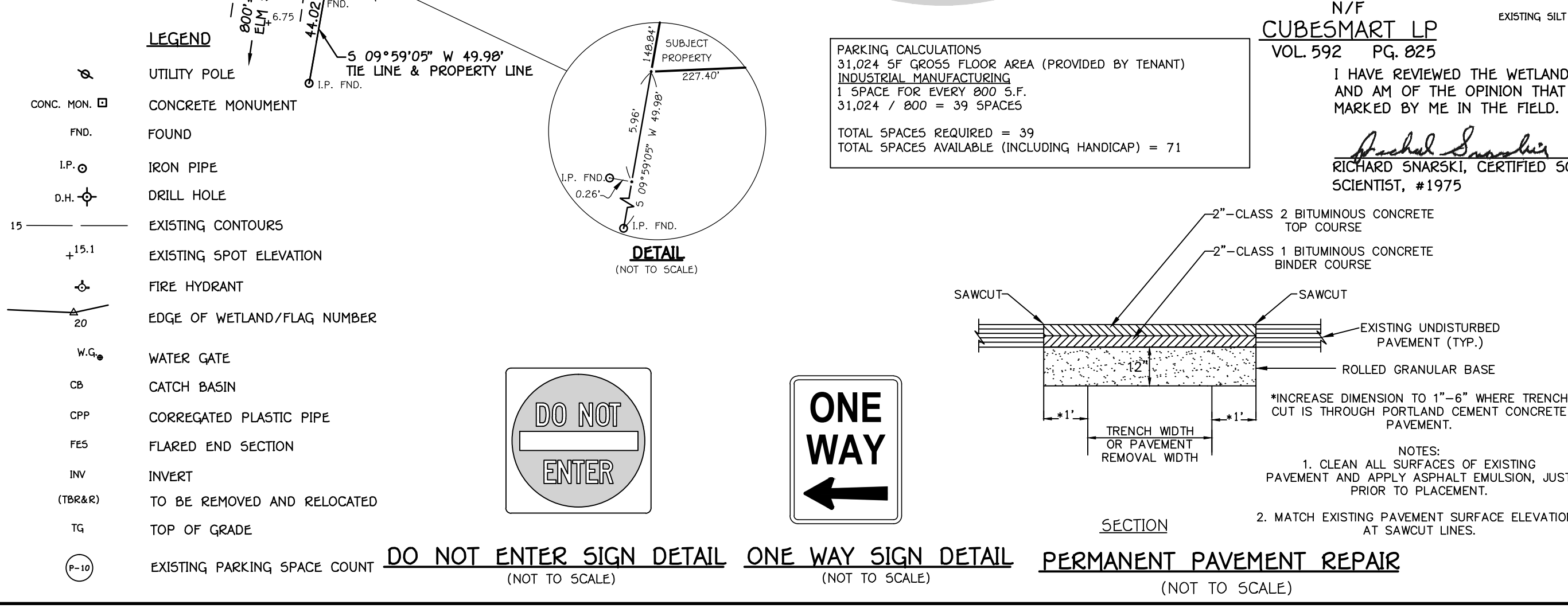
ZONING DATA TABLE
ZONING DISTRICT I-1

ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA WITH PUBLIC WATER	40,000 S.F.	134,812 S.F.	134,812 S.F.
MINIMUM FRONTAGE	50'	378.72'	378.72'
SETBACKS			
FROM STREETLINE	50'	84.3'	84.3'
FROM REAR PROPERTY LINE	20'	>20'	>20'
FROM OTHER PROPERTY LINE	20'	(N) 21.9'(5) 50.8'	(N) 21.9'(5) 50.8'
COVERAGE			
BUILDING/STRUCTURE COVERAGE	40%	20.2%	21.2%
GROSS FLOOR AREA	80%	27,687 SF	28,612 SF
MAXIMUM BLDG. HEIGHT	50'	31,024 SF*	31,024 SF*

* EXISTING GROSS FLOOR AREA PROVIDED BY TENANT



- NOTES:**
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. BOUNDARY PLAN, RESUBDIVISION - LOT "A" ELM INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT DATE: DEC. 21, 1995, REVISED THRU: 5-20-97 BY: ROWLEY, HENDRICKS AND ASSOCIATES, LLC
 - B. "MODIFIED SITE PLAN PREPARED FOR STARK PROPERTIES, LLC 175-5 ELM STREET, ELM INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT DATE: NOV. 13, 2006 BY: ROWLEY, HENDRICKS AND ASSOCIATES, P.C.
 - C. SURVEY PLAN, PROPERTY OF HILL MEADOW DEVELOPMENT MILL ROCK ROAD AND CONNECTICUT TURNPIKE, OLD SAYBROOK, CONNECTICUT DATE: JULY 18, 1999 BY: ANGLUS McDONALD/ GARY SHARPE & ASSOC. INC.
 - D. RECORD SUBDIVISION PLAN / SITE DEVELOPMENT PLAN AND SEDIMENTATION & EROSION CONTROL PLAN, PROPERTY OF GREGORY M. COOK, ET AL. HILL ROCK ROAD AND CONNECTICUT TURNPIKE OLD SAYBROOK, CONNECTICUT DATE: AUG. 1987 REVISED THRU: FEB. 17, 1992 BY: ANGLUS McDONALD / GARY SHARPE & ASSOC. INC.
 - E. RESUBDIVISION OF LOTS 5, 6, & 7 ON LAND OF CHARLES A. & LORRAINE M. MARLAND ELM INDUSTRIAL AREA - ELM STREET, OLD SAYBROOK, CONN. DATE: 10/30/81 BY: RADCLIFFE ENGINEERING, P.C.
 - F. SITE DEVELOPMENT DETAIL PLAN AND EROSION & SEDIMENTATION CONTROL PLAN - RESUBDIVISION - LOT "A" ELM INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT. DATE: DEC. 21, 1995 REVISED THRU: 5-20-97 BY: ROWLEY, HENDRICKS AND ASSOCIATES, P.C.
 - G. COMPILATION MAP ELM INDUSTRIAL PARK OLD SAYBROOK, CONN. DATE: 6/6/83 REV. 10/19/83 BY: RADCLIFFE ENGINEERING.
 - H. IMPROVEMENT LOCATION SURVEY PLAN, SHOWING PROPOSED IMPROVEMENTS PROPERTY OF STARK PROPERTIES, LLC, ELM STREET, ELM STREET INDUSTRIAL PARK, OLD SAYBROOK, CONNECTICUT, DATE: MAY 9, 2007 REVISED THRU: 3-18-2008 BY ANGLUS McDONALD / GARY SHARPE & ASSOCIATES, INC.
 - IF NO CURB EXISTS, OR TRANSFORMER IS LOCATED CLOSER THAN 10 FEET TO THE TRAVELED WAY, PROTECTIVE VEHICLE POSTS (V) SHALL BE INSTALLED AS SPECIFIED IN DTR 42.061
 - TOP OF TRANSFORMER PAD SHALL BE INSTALLED 3 INCHES ABOVE FINAL GRADE.
 - TRANSFORMER SHALL NOT BE LOCATED ON STEEP GRADES WHERE ACCESS TO OR ELBOW OPERATION IS MADE DIFFICULT.
 - TRANSFORMER SHALL MEET THE MINIMUM DISTANCES TO DOORS, WINDOWS, FIRE ESCAPES, AIR INTAKES AND WALLS AS - DTR 42.061 SPECIFIED IN IS NOT
 - TRANSFORMER TO BE LOCATED WITH ITS DOORS FACING THE BUILDING.
 - DTR 58.301 REFER TO FOR SPECIFIC INSTRUCTIONS ON THE INSTALLATION OF THE TRANSFORMER PAD, AND DTR 58.311 OSEM SECTION 06.32 B. REFER TO (NH) FOR INFORMATION ON ENVIRONMENTAL CONSIDERATIONS.
 - CONTOURS AND ELEVATIONS SHOWN ARE BY FIELD SURVEY BASED ON NAVD 1988 DATUM
 - FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON TAKEN FROM FEMA FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, CONNECTICUT, MAP #09007C03421, MAP REVISED FEBRUARY 6, 2013.



BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS BEING ACCURATELY LOCATED OR DEPICTED.

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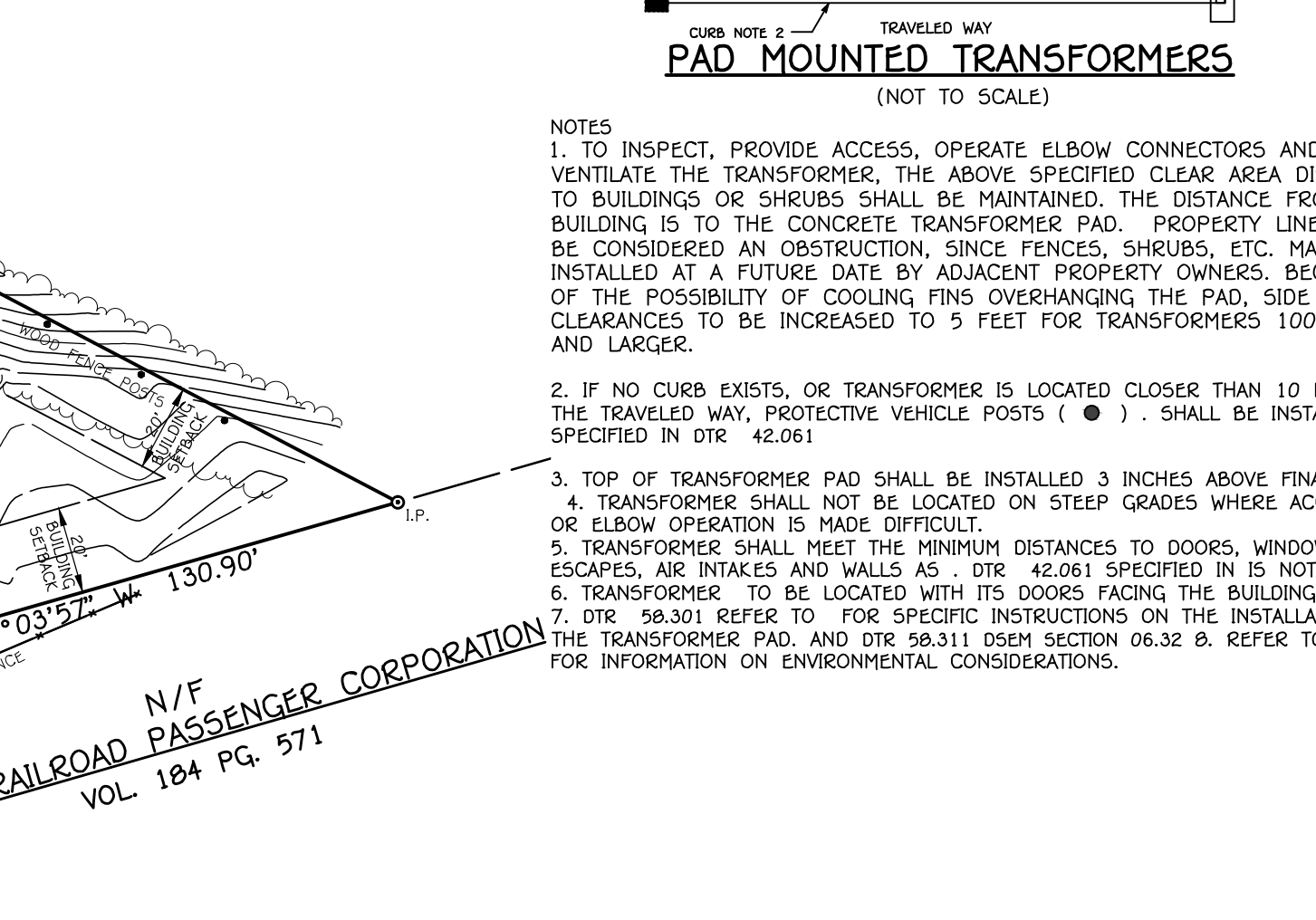
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THE WORD "CERTIFY", AS USED IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE ENGINEER OR SURVEYOR. IT IS A DECLARATORY STATEMENT WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH IT CONSTITUTES NEITHER GUARANTEE NOR WARRANTY, EXPRESSED OR IMPLIED, OF ANY INFORMATION CONTAINED HEREON. NO CERTIFICATION IS EXPRESSED OR IMPLIED ON ANY ORIGINAL OR ANY DUPLICATE OF THIS PLAN UNLESS IT BEARS AN ORIGINAL STAMP OR SEAL AND ORIGINAL SIGNATURE OF THE INDIVIDUAL WHOSE REGISTRATION NUMBER APPEARS HEREON.

CERTIFICATION NOTES:

- THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- A. TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY
- B. BOUNDARY DETERMINATION: RESURVEY
- C. THIS SURVEY CONFORMS TO THE STANDARDS AND ACCURACY OF CLASS A-2 & 1-2.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



ANGUS L. McDONALD JR.
CONN. L.S. #70173

LAND & MARINE SURVEYING

ENGINEERING PLANNING

ANGUS McDONALD GARY SHARPE & ASSOCIATES, INC.
SINCE 1966

P.O. BOX 608, 245 BOSTON POST ROAD
OLD SAYBROOK, CONNECTICUT 06475
TEL. (860) 388-4671 FAX (860) 388-3862

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
BLUSKY CARBON
175-5 ELM STREET
ELM STREET INDUSTRIAL PARK
OLD SAYBROOK, CONNECTICUT

DATE: MARCH 13, 2024 SCALE: 1"=40'

DR'N MCM CK'D APP'D

SHEET 1 of 1 JOB NO. 246708

REVISIONS: 4-17-24 - TOWN ENGINEER'S COMMENTS ADDRESSED
4-25-24 - PROPOSED CLIENT'S COMMENTS ADDRESSED