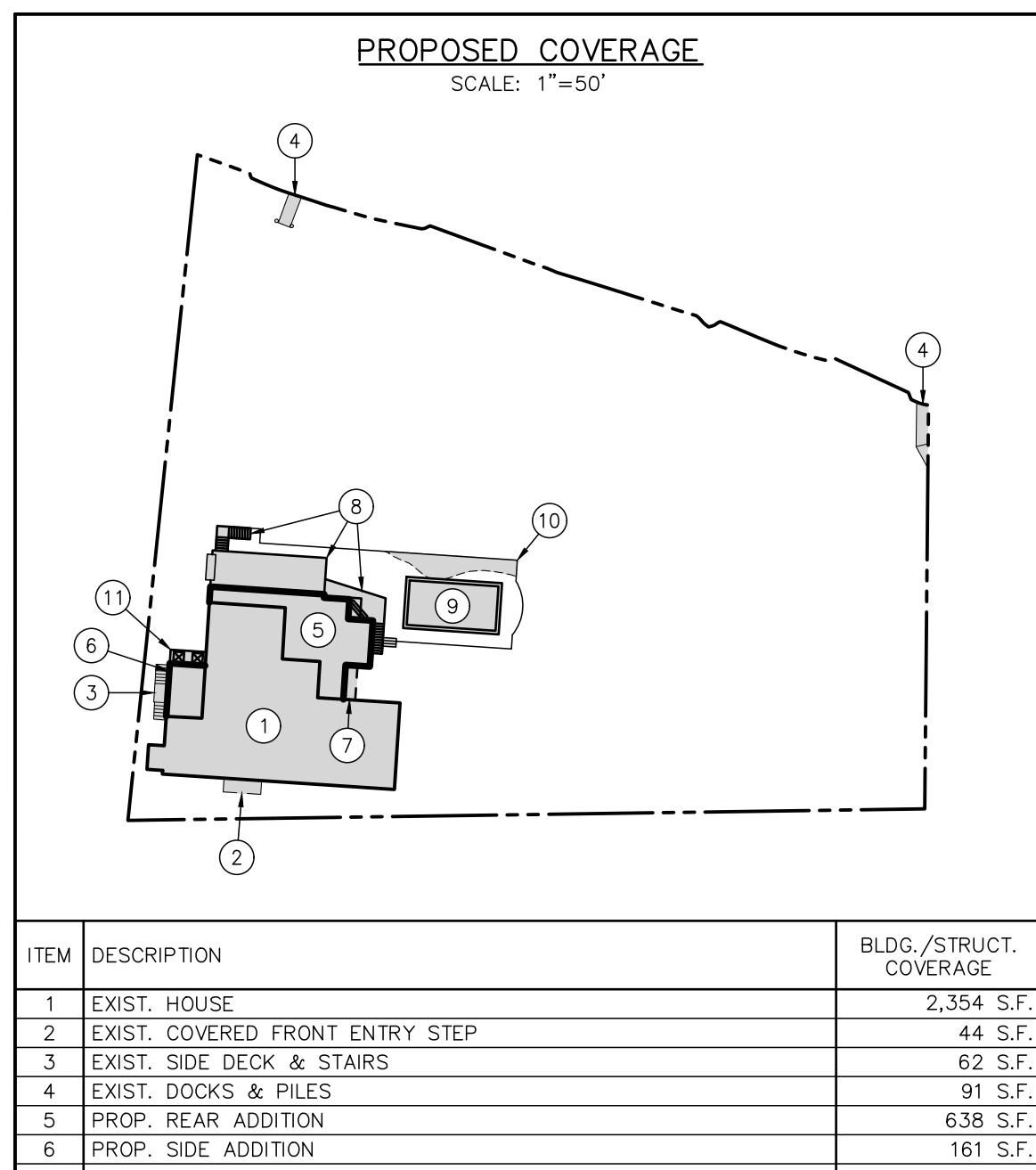
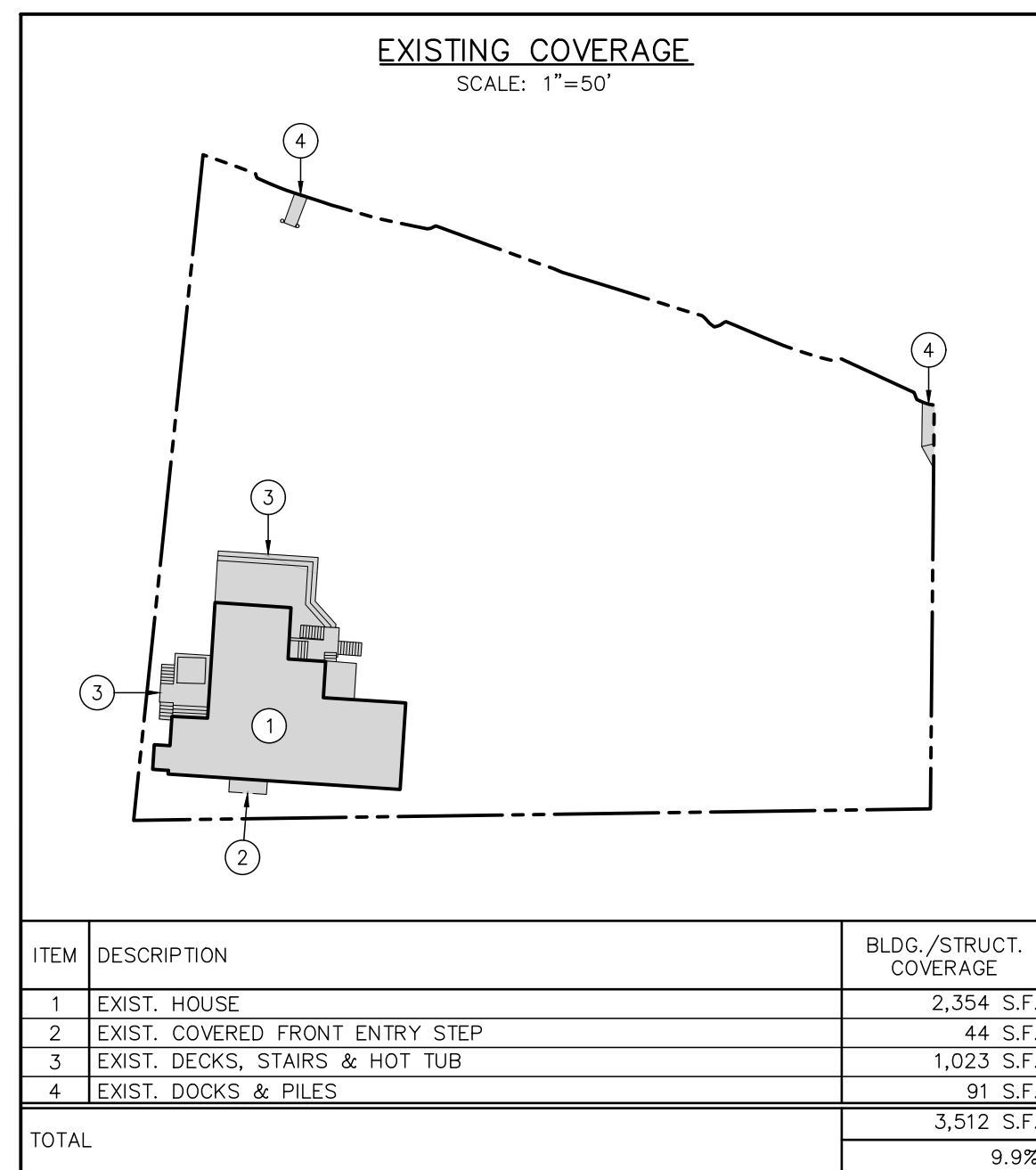


ZONING DATA TABLE			
OLD SAYBROOK RESIDENCE 'AA-2' DISTRICT			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (1)	20,000 S.F. (1)	35,546.80 S.F. (GROSS)	35,546.80 S.F. (NO CHANGE) (GROSS)
MIN. FRONTAGE	20 FT.	232.95 FT.	232.95 FT. (NO CHANGE)
MIN. WIDTH ALONG BUILDING LINE (2)	100 FT.	199.51± FT. (2)	199.51± FT. (NO CHANGE) (2)
STREET LINE SETBACK (NORTH COVE ROAD)	35 FT.	7.0± FT. (EX. FRONT ENTRY, ROOF) (3)	7.0± FT. (EX. FRONT ENTRY, ROOF) (3)
		7.9± FT. (EX. HOUSE) (3)	29.5 FT. (PR. ADDITION, WEST) (4) 34.2 FT. (PR. COVERED ENTRY) (4) 34.5 FT. (PR. ADDITION, EAST) (4)
OTHER YARD SETBACK (WEST BOUNDARY)	15 FT.	3.5± FT. (EX. DECK STAIRS) (3)	3.5± FT. (EX. DECK STAIRS) (3)
		3.2± FT. (EX. HOUSE, ROOF) (3)	3.2± FT. (EX. HOUSE) (3)
OTHER YARD SETBACK (EAST BOUNDARY)	15 FT.	3.7± FT. (EX. HOUSE) (3)	6.9 FT. (PR. ADDITION, ROOF) (4) 7.3 FT. (PR. UTILITY PLATFORM) (4) 7.4 FT. (PR. ADDITION) (4)
		153.7± FT. (EX. HOUSE)	119.8± FT. (PR. TERRACE) 124.2± FT. (PR. POOL COPING) 153.7± FT. (EX. HOUSE)
REAR YARD SETBACK (NORTH BOUNDARY)	15 FT.	101± FT. (EX. DECK STAIRS) 117± FT. (EX. HOUSE)	92± FT. (PR. POOL COPING) 97± FT. (PR. DECK STAIRS) 110± FT. (PR. ADDITION)
MAX. NUMBER OF STORIES	2 1/2 STORY	3 STORIES (EX. HOUSE) (5)	2 STORIES (PR. HOUSE) (5)
MAX. BUILDING HEIGHT	35 FT.	37.9± FT. (EX. HOUSE) (6)	37.9± FT. (PR. ADDITIONS) (4)(6)
MAX. GROSS FLOOR AREA	40% (14,218 S.F.)	18.6% (6,610± S.F.) (7)	15.2% (5,395± S.F.) (-3.4%, -1,215 S.F.) (7)
MAX. BUILDING/STRUCTURE COVERAGE	15% (5,332 S.F.)	9.9% (3,512± S.F.) (8)	12.9% (4,587± S.F.) (+3.0%, +1,075 S.F.) (8)
GATEWAY CONSERVATION SETBACK & RIPARIAN BUFFER SETBACK (FROM C.L.)	100 FT.	95± FT. (EX. DECK STAIRS)	78 FT. (PR. TERRACE) (4) 86 FT. (PR. POOL COPING) (4)
		97± FT. (EX. SLATE PATIO)	93 FT. (PR. DECK STAIRS) (4) 99 FT. (PR. RETAINING WALL) (4)

- LOT IS SERVED BY PUBLIC WATER.
- MIN. WIDTH ALONG BUILDING LINE EQUALS DISTANCE ALONG STREET LINE SETBACK LINE LESS SIDE YARD SETBACKS.
- EXISTING NON-CONFORMITY.
- VARIANCE REQUESTED -- SHOWN IN BOLD FOR CLARITY.
- EXISTING NUMBER OF STORIES PER ARCHITECTURAL DRAWINGS (REF. PLAN B). PROPOSED FLOOD COMPLIANT BASEMENT AREA BELOW DESIGN FLOOD ELEV. 12.0 IS NOT CONSIDERED A STORY.
- PROPERTY IS WITHIN GATEWAY AND MAX. BUILDING HEIGHT IS MEASURED FROM MAX. ROOF RIDGE DOWN TO LOWEST VISIBLE GRADE. EXISTING AND PROPOSED MAX. BUILDING HEIGHTS BASED ON ARCHITECTURAL DRAWINGS (REF. PLAN B).
- MAX. EXIST. BUILDING HEIGHT = ELEV. 42.5± (MAX. ROOF RIDGE) - ELEV. 4.6± (LOWEST EXIST. NATURAL GRADE) = 37.9±
- PROPERTY IS WITHIN GATEWAY AND SINCE THE GROSS FLOOR AREA IS GREATER THAN 3,500 S.F. IT REQUIRES A SPECIAL EXCEPTION. SEE BUILDING GROSS FLOOR AREA TABLE FOR MORE INFORMATION. ALL GROSS FLOOR AREAS FROM PROJECT ARCHITECT AND ARCHITECTURAL DRAWINGS (REF. PLAN B).
- PROPERTY LOCATED IN GATEWAY ZONE THEREFORE USE 15% FOR MAX. BUILDING/STRUCTURE COVERAGE. EXISTING MAX. BUILDING/STRUCTURE COVERAGE BASED ON SURVEY MAPPING (REF. MAP A). PROPOSED MAX. BUILDING/STRUCTURE COVERAGE BASED ON SURVEY MAPPING AND/OR ARCHITECTURAL DRAWINGS (REF. PLAN B). SEE BUILDING/STRUCTURE COVERAGE TABLES FOR MORE INFORMATION.



AREA	EXISTING	PROPOSED
HABITABLE BASEMENT	2,643 S.F.	---
GARAGE	602 S.F.	602 S.F.
1ST FLOOR	1,788 S.F.	2,692 S.F.
2ND FLOOR	1,577 S.F.	2,101 S.F.
TOTAL	6,610 S.F.	5,395 S.F.

*EXISTING AND PROPOSED FLOOR AREAS PROVIDED BY PROJECT ARCHITECT AND EXCLUDES NON-HABITABLE BASEMENT BELOW THE DESIGN FLOOD ELEVATION.

100' GATEWAY BUFFER SUMMARY:

PROPOSED IMPROVEMENTS WITHIN BUFFER:

PORTIONS OF PROPOSED INGROUND POOL, PERVIOUS TERRACE, RETAINING WALL, WOOD DECK & STAIRS = 1,076± S.F.

PROPOSED MITIGATION WITHIN BUFFER:

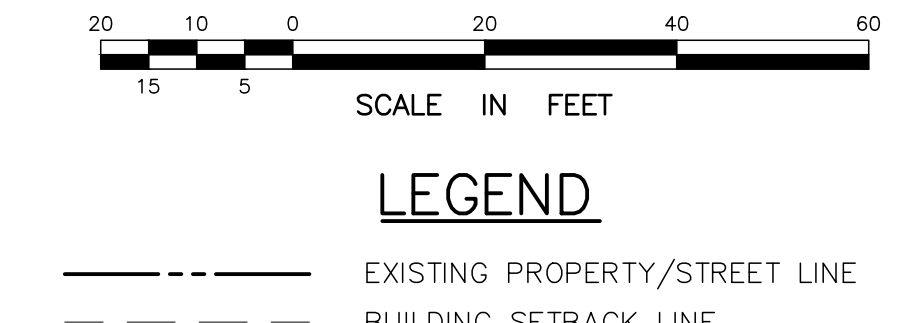
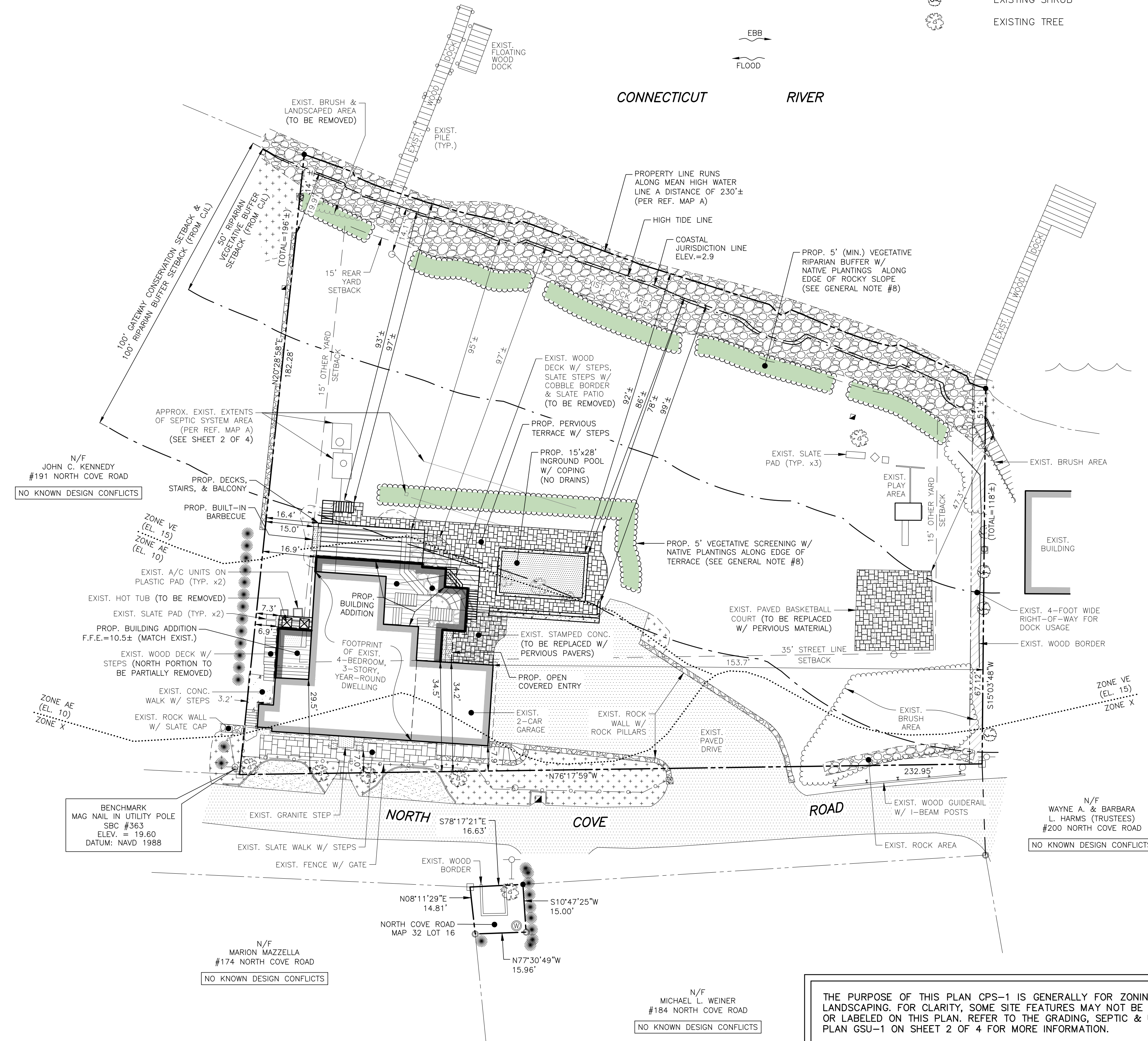
REMOVE PORTION OF EXISTING DECK, STAIRS & PATIO WITHIN BUFFER = 97± S.F.
INSTALL VEGETATIVE BUFFER ALONG LENGTH OF REAR PROPERTY LINE = 910± S.F.
INSTALL VEGETATIVE SCREENING ALONG EDGE OF PROPOSED TERRACE = 510± S.F.
CONVERT EXISTING IMPERVIOUS PAVED BASKETBALL COURT ENTIRELY INTO PERVIOUS MATERIAL = 602± S.F.

TOTAL AREA OF BUFFER MITIGATION = 2,119± S.F.

IN ADDITION TO THE ABOVE, THE EXISTING ANTIQUATED LEACHING SYSTEM WITHIN THE BUFFER WILL BE REMOVED AND REPLACED WITH A MODERN LEACHING SYSTEM ENTIRELY OUTSIDE OF THE BUFFER.

GENERAL NOTES:

- THIS PLAN WAS COMPILED USING THE FOLLOWING REFERENCE INFORMATION:
A) A CLASS A-2 SURVEY MAP ENTITLED "ZONING LOCATION SURVEY OF 201 NORTH COVE ROAD & NORTH COVE ROAD (ID#32/16), OLD SAYBROOK, CONNECTICUT, PREPARED FOR NORTH COVE ASSOCIATES LLC", SCALE: 1"=10', DATED: JANUARY 4, 2021, PREPARED BY: GESICK & ASSOCIATES, P.C.
B) AN ARCHITECTURAL PLAN SET "HOUSE ADDITION & ALTERATION, 201 NORTH COVE ROAD, OLD SAYBROOK, CT", DATED: FEBRUARY 14, 2024, PREPARED BY: JOSEPH BERGIN ARCHITECT, P.C.
- THE PROPERTY OWNER AND APPLICANT IS NORTH COVE ASSOCIATES LLC OF 201 NORTH COVE ROAD, OLD SAYBROOK, CT 06475.
- THE SUBJECT PARCELS ARE IDENTIFIED AS LOT 11 ON TAX ASSESSOR'S MAP 32 (201 NORTH COVE ROAD) AND LOT 16 ON TAX ASSESSOR'S MAP 32 (NORTH COVE ROAD). THE DEED REFERENCE FOR BOTH PROPERTIES IS VOLUME 645 PAGE 394. THE AREA OF THE PARCELS ARE 35,546.80± S.F. (0.82± ACRES) AND 242.54± S.F. (0.006± ACRES), RESPECTIVELY.
- THE SUBJECT PROPERTIES ARE LOCATED WITHIN THE 'RESIDENCE AA-2' ZONING DISTRICT. THESE PROPERTIES ARE LOCATED WITHIN THE COASTAL AREA MANAGEMENT ZONE AND THE CONNECTICUT RIVER GATEWAY CONSERVATION ZONE. THE PARCELS LIE WITHIN FEMA FLOOD HAZARD ZONE VE (ELEV. 15), ZONE AE (EL. 10) AND/OR ZONE X. THE OLD SAYBROOK FLOOD ORDINANCE ADDS TWO FEET TO FLOOD ZONES VE AND AE SO THE DESIGN FLOOD ELEVATION IS ELEVATION 17 AND ELEVATION 12 (NAVD--88), RESPECTIVELY.
- THE APPLICANT IS PROPOSING TO CONSTRUCT ADDITIONS ONTO THE EXISTING 4-BEDROOM, 3-STORY, YEAR-ROUND DWELLING WITH AN OPEN COVERED PORCH, DECKS AND A BALCONY, INSTALL AN INGROUND POOL WITH A PERVIOUS TERRACE AND OTHER ASSOCIATED IMPROVEMENTS. THE NUMBER OF BEDROOMS WILL REMAIN UNCHANGED.
- THE PURPOSE OF THIS PLAN IS FOR REVIEW BY OLD SAYBROOK ZONING BOARD OF APPEALS TO SEEK NECESSARY VARIANCES FOR WORK WITHIN 100'-FEET OF THE CONNECTICUT RIVER AND FOR REVIEW BY THE GATEWAY CONSERVATION COMMISSION. THE CONNECTICUT RIVER AREA HEALTH DISTRICT (CRAHD) APPROVED A SEPTIC B100± FOR THIS PROJECT ON FEBRUARY 7, 2024.
- THIS PROPERTY IS SERVED BY PUBLIC WATER AND A SUBSURFACE SEWAGE DISPOSAL SYSTEM. THERE IS AN EXISTING WELL LOCATED AT NORTH COVE ROAD (MAP 32 LOT 16) THAT IS UNDERSTOOD TO NOT BE IN USE. PRIOR TO CONSTRUCTION, A LICENSED WELL DRILLER SHALL PROPERLY ABANDON AND FILL THE WELL IF NOT ALREADY DONE. THERE ARE NO OTHER KNOWN WELLS OR ANY OTHER KNOWN DESIGN CONFLICTS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM.
- THE PROPOSED VEGETATIVE RIPARIAN BUFFER AND VEGETATIVE SCREENING SHALL CONSIST OF 4 TO 5 VARYING PLANT SPECIES FROM THE "CONNECTICUT COASTAL PLANTING GUIDE WITH POLLINATOR AND WILDLIFE VALUE" AVAILABLE AT UCONN.EDU OR NOAA.GOV.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING INFORMATION (REF. PLAN B).
- ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD--88 DATUM PER REF. MAP A.



LEGEND

	EXISTING PROPERTY/STREET LINE
	BUILDING SETBACK LINE
	FLOOD ZONE LINE
	EXISTING BUILDING TO REMAIN
	PROPOSED BUILDING ADDITIONS
	COASTAL JURISDICTION LINE
	HIGH TIDE LINE
	50' RIPARIAN VEGETATIVE SETBACK
	100' GATEWAY CONSERVATION SETBACK & 100' RIPARIAN BUFFER SETBACK
	EXISTING LANDSCAPED AREA
	EXISTING DRAINAGE CATCH BASIN
	EXISTING DRAINAGE PIPE OUTLET
	EXISTING UTILITY POLE
	EXISTING IRON PIPE/PIN/DRILL HOLE
	EXISTING MONUMENT
	EXISTING PROPERTY CORNER
	EXISTING SHRUB
	EXISTING TREE

PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
JOSEPH WREN, P.E.
CT REG. NO. 21090
05 BEAVER CREEK, 2ND FLOOR
OLD SAYBROOK, CT 06475
PHONE: (860) 388-9343
WEB: INDIGO-LAND.COM

THE EMBOSSED SEAL OF
THE REGISTERED PROFESSIONAL ENGINEER
AFFIXED HERE FOR THIS
MAP TO BE VALID

#	DATE	DESCRIPTION	BY

COASTAL SITE PLAN
PREPARED FOR NORTH COVE ASSOCIATES LLC
201 N. COVE RD. (MAP 32 LOT 11) & N. COVE RD. (MAP 32 LOT 16)
OLD SAYBROOK, CONNECTICUT

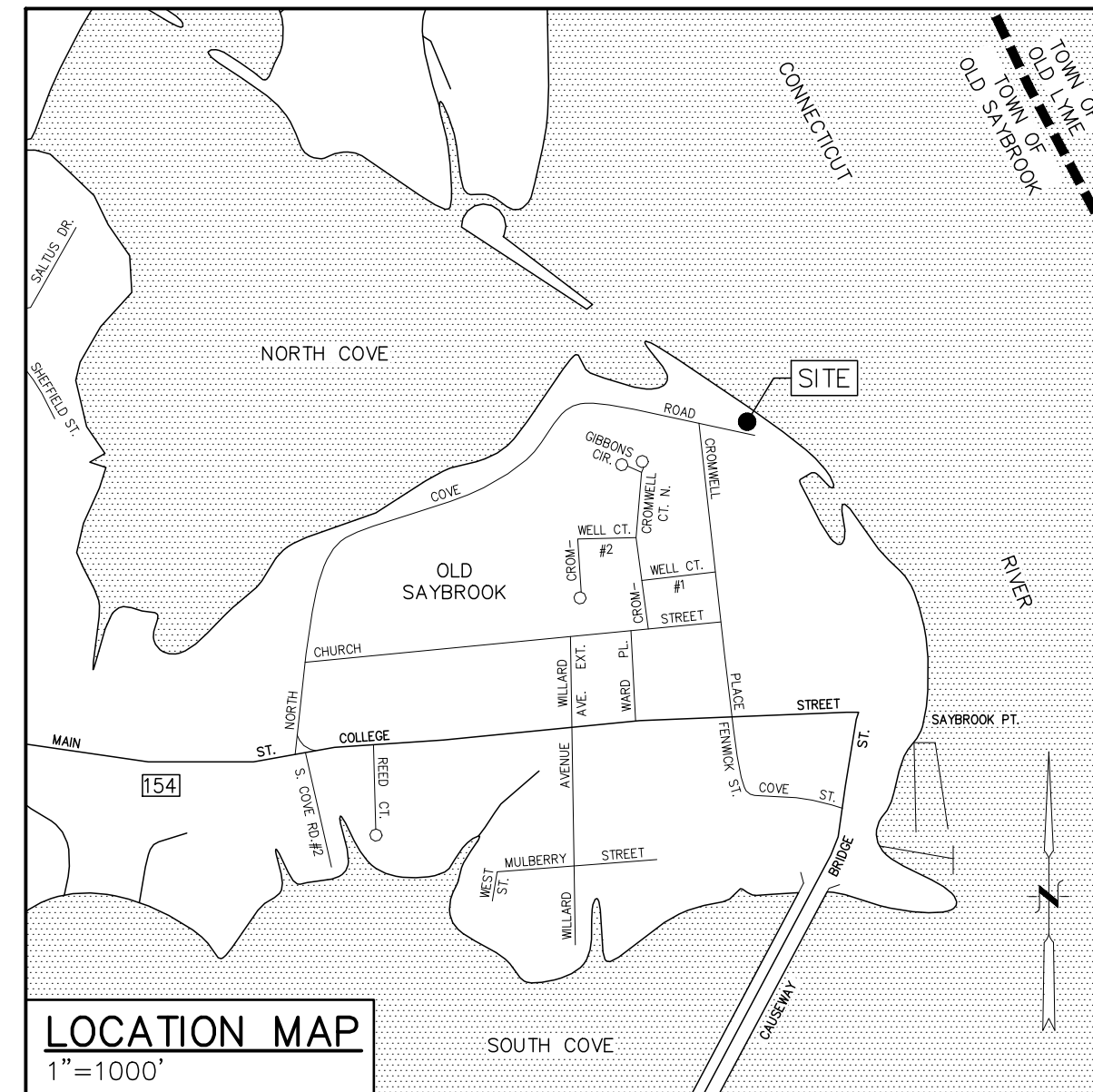
DATE: FEBRUARY 14, 2024
SCALE: 1"=20'
DRAWN BY: RG
CHECKED BY: JW
DWG. NO.: CSP-1
SHEET NO.: 1 of 4
JOB NO.: 2022-889

THE PURPOSE OF THIS PLAN CPS-1 IS GENERALLY FOR ZONING AND LANDSCAPING. FOR CLARITY, SOME SITE FEATURES MAY NOT BE SHOWN OR LABELED ON THIS PLAN. REFER TO THE GRADING, SEPTIC & UTILITY PLAN GSU-1 ON SHEET 2 OF 4 FOR MORE INFORMATION.

COASTAL RESIDENTIAL SITE IMPROVEMENTS

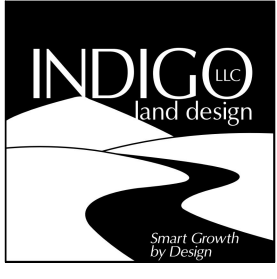
PREPARED FOR NORTH COVE ASSOCIATES LLC
 201 NORTH COVE ROAD (MAP 32 LOT 11)
 & NORTH COVE ROAD (MAP 32 LOT 16)
 OLD SAYBROOK, CONNECTICUT

ORIGINAL PLAN SET
 DATED 2/14/2024



DRAWING INDEX:		SHEET NO.	
TITLE	DWG. NO.		
COASTAL SITE PLAN	CPS-1	1	OF 4
UTILITY & GRADING PLAN	GSU-1	2	OF 4
SOIL TEST DATA & SEPTIC DESIGN CRITERIA	ST-1	3	OF 4
E&S NARRATIVE AND DETAILS	ES-1	4	OF 4

CIVIL ENGINEER

 INDIGO LAND DESIGN, LLC
 JOE WREN, P.E.
 40 ELM STREET, 2ND FLOOR
 OLD SAYBROOK, CT 06475

LAND SURVEYOR

GESICK & ASSOCIATES, P.C.
 19 CEDAR ISLAND AVENUE
 CLINTON, CT 06413

ARCHITECT

JOSEPH BERGIN ARCHITECT, P.C.
 28 MAIN STREET, P.O. BOX 255
 ESSEX, CT 06426

PROPERTY OWNER/APPLICANT

NORTH COVE ASSOCIATES, LLC
 201 NORTH COVE ROAD
 OLD SAYBROOK, CT 06475

CONSTRUCTION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATIONS AND INFORMATION PROVIDED BY OTHERS. THEIR ACTUAL LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 800-922-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF OLD SAYBROOK STANDARDS AND REGULATIONS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF OLD SAYBROOK AND THE CUSTODIAL UTILITY COMPANIES. ALL UTILITY TRENCHES SHALL BE NO LESS THAN 5 FEET FROM THE EXISTING SEPTIC SYSTEM AND NOT BACKFILLED WITH FREE DRAINING MATERIAL. ALL WATER LINES SHALL BE A MINIMUM OF 10 FEET FROM ANY SEPTIC SYSTEM.
- ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM AND ABIDE BY ANY APPLICABLE 'NO HAMMER' TIME PERIODS OF THE COMMUNITY.
- THE CONTRACTOR SHALL OBTAIN, REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF OLD SAYBROOK AND/OR THE CONNECTICUT RIVER AREA HEALTH DISTRICT (CRAHD).
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES FROM ANY EROSION AND/OR SEDIMENTATION. SILT FENCE SHALL BE INSTALLED AS SHOWN AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE PROPOSED BUILDING ADDITION WILL NOT HAVE A FULL BASEMENT AND WILL NOT HAVE FOOTING DRAINS. THE PROPOSED RETAINING WALL AND INGROUND POOL SHALL NOT HAVE DRAINS. THERE ARE NO KNOWN DOWNGRADE SEPTIC SYSTEM COMPONENTS WITHIN 25 FEET OF ANY UPGRADIENT GROUNDWATER DRAINS OR ANY UPGRADIENT SEPTIC SYSTEM COMPONENTS WITHIN 50 FEET OF ANY DOWNGRADE GROUNDWATER DRAINS.
- ALL EXISTING DRAINAGE PATTERNS SHALL BE MAINTAINED. THE CONTRACTOR SHALL GRADE THE PROPERTY IN SUCH A MANNER TO MAINTAIN EXISTING LOCAL DRAINAGE PATTERNS AND TO PREVENT EXCESS RUNOFF AND/OR PONDING ON ADJACENT PROPERTIES BOTH DURING AND AFTER CONSTRUCTION.
- THE APPROXIMATE LOCATION OF THE EXISTING SEPTIC SYSTEM IS SHOWN HEREON. ALL EXISTING SEPTIC SYSTEM COMPONENTS SHALL BE LOCATED IN THE FIELD AND PUMPED DRY AS NECESSARY. THE EXISTING BUILDING SEWER PIPE, SEPTIC TANK AND PUMP CHAMBER SHALL BE INSPECTED AND MAY REMAIN IF FOUND TO BE IN GOOD WORKING ORDER AND PROPERLY SIZED (SEE SHEET 3 OF 4 FOR MINIMUM SEPTIC TANK SIZE). CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING SEPTIC SYSTEM COMPONENTS THAT ARE TO REMAIN AND SHALL REMOVE AND REPLACE ANY SUBSTANDARD COMPONENTS IN THE SAME LOCATION AS NECESSARY. THE EXISTING DISTRIBUTION BOX, DISTRIBUTION PIPE, AND LEACHING SYSTEM SHALL BE COMPLETELY REMOVED IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE AND ALL APPLICABLE LOCAL REGULATIONS.
- ALL PROPOSED MECHANICALS SHALL BE INSTALLED ENTIRELY OUTSIDE OF FEMA FLOOD ZONE VE (EL. 15) AND SHALL BE INSTALLED AT OR ABOVE ELEVATION 12.0 (NAVD-88) IN ACCORDANCE WITH FEMA FLOOD REGULATIONS AND LOCAL FLOOD ORDINANCES. ANY BUILDING MATERIALS WITHIN FEMA FLOOD HAZARD ZONE VE (EL. 15) OR ZONE AE (EL. 10) THAT ARE INSTALLED BELOW DESIGN FLOOD ELEVATIONS OF 17 AND 12 (NAVD-88), RESPECTIVELY, SHALL BE FLOOD RESISTANT.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED IN STRICT CONFORMANCE WITH ALL APPLICABLE CODES AND SPECIFICATIONS AND REQUIRED SEPARATION DISTANCES.
- PROJECT ARCHITECT OR STRUCTURAL ENGINEER SHALL DETERMINE ALL STRUCTURAL AND FEMA FLOOD REQUIREMENTS, INCLUDING FLOOD VENTS.
- THE PROPOSED ADDITIONS AND IMPROVEMENTS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE ADDITIONS AND IMPROVEMENTS IN THE EXACT LOCATION SHOWN AND SHALL BE CONSTRUCTED TO THE EXACT DIMENSIONS SHOWN ON THE LATEST SITE AND ARCHITECTURAL PLANS IN ACCORDANCE WITH THE VARIANCES GRANTED. ALL DIMENSIONS SHALL ACCOUNT FOR ANY SIDING OR CLADDING.
- THIS PROPERTY IS SERVED BY PUBLIC WATER AND A SUBSURFACE SEWAGE DISPOSAL SYSTEM. THERE IS AN EXISTING WELL LOCATED AT NORTH COVE ROAD (MAP 32 LOT 16) THAT IS UNDERSTOOD TO NOT BE IN USE. PRIOR TO CONSTRUCTION, A LICENSED WELL DRILLER SHALL PROPERLY ABANDON AND FILL THE WELL IF NOT ALREADY DONE. THERE ARE NO OTHER KNOWN WELLS OR ANY OTHER KNOWN DESIGN CONFLICTS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM.
- CONTRACTOR SHALL ENSURE THAT NO PROPOSED ROOF RIDGES EXCEED THE EXISTING MAX. ROOF RIDGE ELEVATION OF 42.5.

SEPTIC SYSTEM KEY

- (A) EXISTING BUILDING SEWER PIPE (TO REMAIN).*
- (B) EXISTING SEPTIC TANK (TO REMAIN).*
- (C) EXISTING PIPE FROM SEPTIC TANK TO PUMP CHAMBER (TO REMAIN).*
- (D) EXISTING PUMP CHAMBER (TO REMAIN).*
- (E) PROPOSED 2" SCH. 40 ASTM D1785 SOLID PVC PIPE TO CONNECT TO PROPOSED DISTRIBUTION BOX.
- (F) PROPOSED 10-HOLE H-20 RATED CONCRETE DISTRIBUTION BOX BY JOLLEY PRECAST (OR EQUAL).
- (G) PROPOSED 4" SCH. 40 ASTM D1785 SOLID PVC DISTRIBUTION PIPE TO CONNECT TO PROPOSED LEACHING SYSTEM PER MANUFACTURER'S SPECIFICATIONS.
- (H) PROPOSED 4" SCH. 40 ASTM D1785 SOLID PVC DISTRIBUTION TEE.
- (I) PROPOSED 23.0 L.F. OF GEOMATRIX GST6236 LEACHING SYSTEM W/ H-20 PROVISIONS (SEE DETAILS).
- (J) PROPOSED 4" SCH. 40 ASTM D1765 INSPECTION PORT - GEOMATRIX PART NO.: IPGST15 (SEE DETAIL).*

*THE EXISTING BUILDING SEWER PIPES, SEPTIC TANK, AND PUMP CHAMBER MAY REMAIN IF FOUND TO BE IN GOOD WORKING ORDER AND PROPERLY SIZED (SEE CONST. NOTE #9 ON THIS SHEET). THE PROPOSED DISTRIBUTION BOX SHALL HAVE AN H-20 RATED RISER TO FINISHED GRADE. THE INSPECTION PORT SHALL HAVE AN H-20 RATED GEOMATRIX RISER AND VALVE COVER TO FINISHED GRADE. REFER TO SEPTIC SYSTEM INVERT TABLE ON SHEET ST-1 (3 OF 4) FOR PROPOSED INVERT ELEVATIONS.



LEGEND

- EXISTING PROPERTY/STREET LINE
- FLOOD ZONE LINE
- EXISTING BUILDING TO REMAIN
- PROPOSED BUILDING ADDITIONS
- OHW --- EXISTING OVERHEAD WIRES
- W --- EXISTING WATER LINE
- D --- EXISTING DRAINAGE PIPE
- COASTAL JURISDICTION LINE
- HIGH TIDE LINE
- 50' RIPARIAN VEGETATIVE SETBACK
- 100' GATEWAY CONSERVATION SETBACK & 100' RIPARIAN BUFFER SETBACK
- EXISTING LANDSCAPED AREA
- 7x5 PROPOSED SPOT GRADE
- TP101 APPROXIMATE TEST PIT LOCATION
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING DRAINAGE CATCH BASIN
- EXISTING DRAINAGE PIPE OUTLET
- EXISTING DUG WELL
- EXISTING UTILITY POLE
- EXISTING IRON PIPE/PIN/DRILL HOLE
- EXISTING MONUMENT
- EXISTING PROPERTY CORNER
- EXISTING SHRUB
- EXISTING TREE

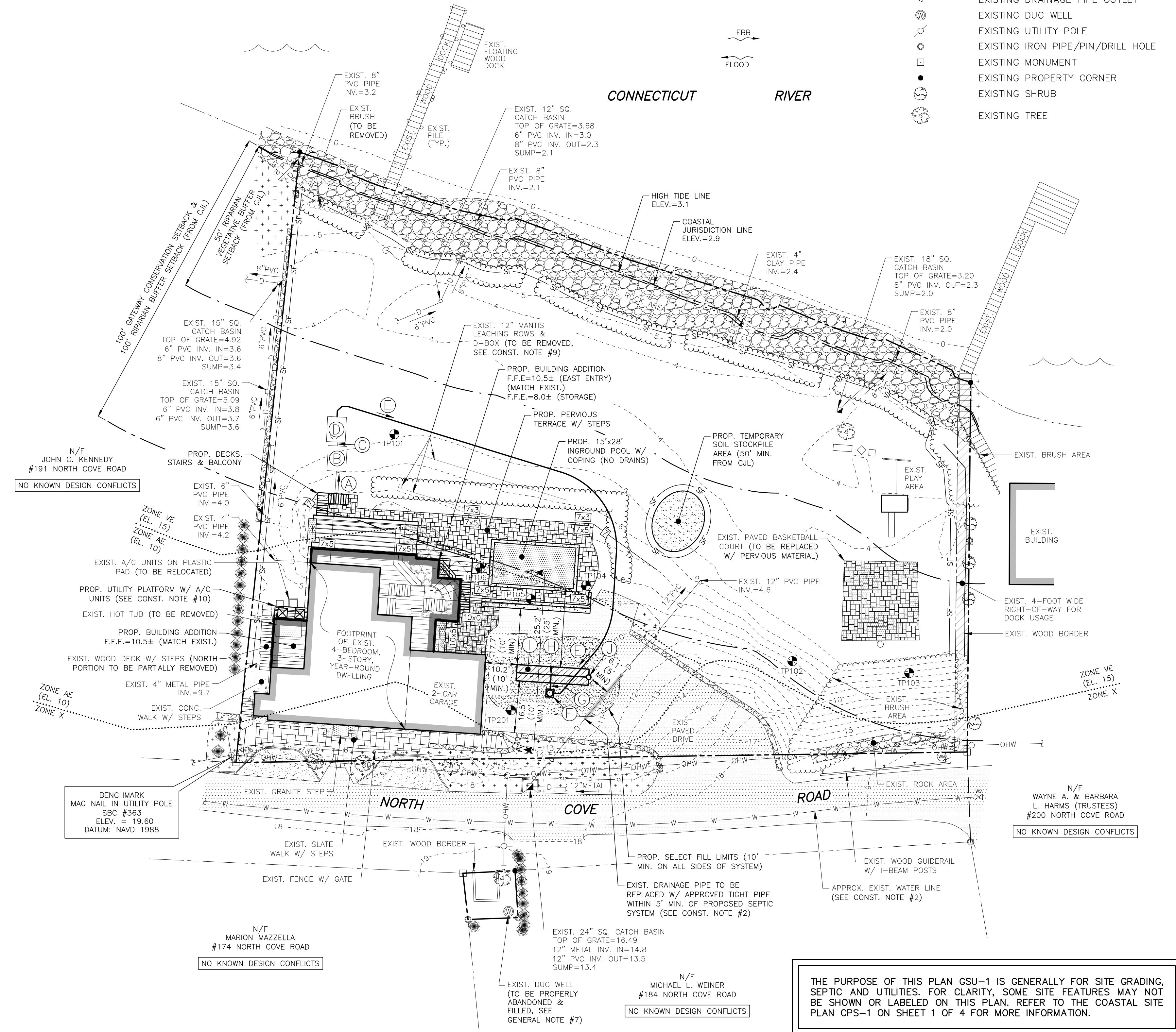
PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
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00 ELM STREET, 2ND FLOOR
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THE EMBOSSED SEAL OF
INDIGO LAND DESIGN, LLC
MAY BE USED FOR THIS
MAP TO BE VALID

#	DATE	DESCRIPTION	BY

GRADING, SEPTIC & UTILITY PLAN
PREPARED FOR NORTH COVE ASSOCIATES LLC
201 N. COVE RD. (MAP 32 LOT 11) & N. COVE RD. (MAP 32 LOT 16)
OLD SAYBROOK, CONNECTICUT

DATE: FEBRUARY 14, 2024
SCALE: 1"=20'
DRAWN BY: RG
CHECKED BY: JW
DWG. NO.: GSU-1
SHEET NO.: 2 of 4
JOB NO.: 2022-889



THE PURPOSE OF THIS PLAN GSU-1 IS GENERALLY FOR SITE GRADING, SEPTIC AND UTILITIES. FOR CLARITY, SOME SITE FEATURES MAY NOT BE SHOWN OR LABELED ON THIS PLAN. REFER TO THE COASTAL SITE PLAN CPS-1 ON SHEET 1 OF 4 FOR MORE INFORMATION.

GENERAL NOTES (SEPTIC SYSTEM):

- THE APPLICANT IS PROPOSING TO CONSTRUCT ADDITIONS ONTO THE EXISTING 4-BEDROOM, 3-STORY, YEAR-ROUND DWELLING WITH AN OPEN COVERED PORCH, DECKS AND A BALCONY, INSTALL AN INGROUND POOL WITH A PERSISTENT TERRACE AND OTHER ASSOCIATED IMPROVEMENTS. THE NUMBER OF BEDROOMS WILL REMAIN UNCHANGED.
- THIS PROPERTY IS SERVED BY PUBLIC WATER AND A SUBSURFACE SEWAGE DISPOSAL SYSTEM. THERE IS AN EXISTING WELL LOCATED AT NORTH COVE ROAD (MAP 32 LOT 16) THAT IS UNDERSTOOD TO NOT BE IN USE. PRIOR TO CONSTRUCTION, A LICENSED WELL DRILLER SHALL PROPERLY ABANDON AND FILL THE WELL IF NOT ALREADY DONE. THERE ARE NO OTHER KNOWN WELLS OR ANY OTHER KNOWN DESIGN CONFLICTS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM.
- THE USE OF A GARBAGE DISPOSAL IS NOT RECOMMENDED. IF A GARBAGE DISPOSAL OR A TUB OVER 100 GALLONS IS INSTALLED, THE PROPOSED SEPTIC TANK SIZE SHALL BE INCREASED IN CONFORMANCE WITH THE PUBLIC HEALTH CODE. ANY WATER SOFTENER SHALL NOT DISCHARGE TO THE SEPTIC SYSTEM.
- THE PROPOSED BUILDING ADDITION WILL NOT HAVE A FULL BASEMENT AND WILL NOT HAVE FOOTING DRAINS. THE PROPOSED RETAINING WALL AND INGROUND POOL SHALL NOT HAVE DRAINS. THERE ARE NO KNOWN DOWNGRADE SEPTIC SYSTEM COMPONENTS WITHIN 25 FEET OF ANY UPGRADED GROUNDWATER DRAINS OR ANY UPGRADED SEPTIC SYSTEM COMPONENTS WITHIN 50 FEET OF ANY DOWNGRADE GROUNDWATER DRAINS.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF OLD SAYBROOK AND THE CUSTODIAL UTILITY COMPANIES. ALL UTILITY TRENCHES SHALL BE NO LESS THAN 5 FEET FROM THE EXISTING SEPTIC SYSTEM AND NOT BACKFILLED WITH FREE DRAINING MATERIAL. ALL WATER LINES SHALL BE A MINIMUM OF 10 FEET FROM ANY SEPTIC SYSTEM.

GENERAL CONSTRUCTION NOTES (SEPTIC SYSTEM):

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CONNECTICUT PUBLIC HEALTH CODE, AS AMENDED.
- A LICENSED SURVEYOR SHALL FIELD STAKE THE LOCATION OF THE PROPOSED SEPTIC SYSTEM PRIOR TO CONSTRUCTION AND SET A STABLE SITE BENCHMARK IN THE SYSTEM AREA.
- NO WORK SHALL COMMENCE IN THE SYSTEM AREA UNTIL A SEPTIC PERMIT HAS BEEN TAKEN OUT BY THE LICENSED INSTALLER.
- THE LICENSED INSTALLER SHALL PERFORM SITE PREPARATION AND SHOULD CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION.
- THE LICENSED INSTALLER SHALL BE ON SITE DURING SYSTEM CONSTRUCTION. THE SYSTEM SHALL BE INSTALLED IN CONFORMANCE TO THESE PLANS. ANY REQUESTED MODIFICATIONS SHALL BE DISCUSSED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL MODIFICATIONS MUST BE APPROVED BY THE ENGINEER AND TOWN SANITARIAN PRIOR TO CONSTRUCTION.
- A MINIMUM OF 24 HOURS NOTICE SHALL BE GIVEN BY THE LICENSED INSTALLER TO THE ENGINEER AND TOWN SANITARIAN BEFORE ANY STRIPPING IS DONE FOR THE SYSTEM. STRIP INSPECTIONS WILL BE PERFORMED BY THE ENGINEER AND SANITARIAN.
- THE LICENSED INSTALLER SHALL BE RESPONSIBLE FOR PREPARING THE LEACHING AREA IN A WORKMANLIKE MANNER. ALL NECESSARY STEPS SHALL BE TAKEN TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVER COMPACTION AND SILTATION ONCE EXPOSED.
- THE INSTALLER SHALL NOTIFY THE ENGINEER AND SANITARIAN AT LEAST 24 HOURS IN ADVANCE OF BEING READY FOR A FINAL INSPECTION. THE ENGINEER AND SANITARIAN SHALL CONDUCT THE FINAL INSPECTION TOGETHER WITH THE LICENSED INSTALLER. NO DEVIATION FROM THE PLAN APPROVED BY THE SANITARIAN SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE SANITARIAN. THE SYSTEM SHALL NOT BE BACKFILLED WITHOUT THE APPROVAL OF THE SANITARIAN.
- A LICENSED ENGINEER OR SURVEYOR SHALL PREPARE A SEPTIC SYSTEM AS-BUILT DRAWING CERTIFYING THE SYSTEM IS CODE-COMPLIANT. THIS PLAN SHALL INCLUDE ALL ESSENTIAL ACCESS POINTS INCLUDING TANK MANHOLES, DISTRIBUTION BOX AND LEACHING SYSTEM ENDS. THE AS-BUILT PLAN SHALL BE COMPLETED IN A TIMELY MANNER.
- THE LEACHING SYSTEM SHALL BE PROPERLY COVERED BY THE LICENSED SYSTEM INSTALLER WITHIN TWO (2) WORKING DAYS FOLLOWING THE LOCAL HEALTH DEPARTMENT'S FINAL INSPECTION AND APPROVAL.
- NO HEAVY EQUIPMENT SHALL BE DRIVEN OVER THE INSTALLED LEACHING SYSTEM AREA.
- THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER IF HE WISHES TO CHANGE THE LOCATION OR ELEVATION OF ANY PROPOSED SEPTIC SYSTEM COMPONENT PRIOR TO CONSTRUCTION.
- THE LICENSED INSTALLER IS RESPONSIBLE TO INSTALL THE SUBSURFACE SEWAGE DISPOSAL SYSTEM IN ACCORDANCE WITH THE APPROVED PLAN.
- THE EXISTING BUILDING SEWER PIPES, SEPTIC TANK, AND PUMP CHAMBER MAY REMAIN IF FOUND TO BE IN GOOD WORKING ORDER AND PROPERLY SIZED (SEE CONST. NOTE #21 ON THIS SHEET). THE PROPOSED DISTRIBUTION BOX SHALL HAVE AN H-20 RATED RISER TO FINISHED GRADE. THE INSPECTION PORT SHALL HAVE AN H-20 RATED GEOMATRIX RISER AND VALVE COVER TO FINISHED GRADE.
- THE PROPOSED LEACHING SYSTEM, GEOMATRIX GST6236 (WITH H-20 PROVISIONS), SHALL BE INSTALLED IN CONFORMANCE WITH ALL MANUFACTURER'S SPECIFICATIONS. A GEOMATRIX SYSTEMS REPRESENTATIVE WILL DELIVER THE GEOMATRIX GST FORMS TO THE SITE AND WILL BE ON SITE DURING INSTALLATION OF THE SYSTEM TO ENSURE PROPER INSTALLATION. THE INSTALLER SHALL OBTAIN, REVIEW AND STRICTLY ADHERE TO THE ALL INSTALLATION INSTRUCTIONS AND MATERIAL SPECIFICATIONS. MORE INFORMATION CAN BE OBTAINED FROM THE MANUFACTURER, GEOMATRIX SYSTEMS, LLC - 114 MILL ROCK ROAD EAST, OLD SAYBROOK, CT - 860-510-0730 OR AT WWW.GEOMATRIXSYSTEMS.COM.
- A TWO-PART CONCRETE SEPTIC TANK SHALL BE USED BUT MUST BE MADE 100% WATERTIGHT BY GASKETING AND MORTARING ALL JOINTS. IF A TWO-PART TANK IS USED, IT SHALL BE FILLED WITH WATER ABOVE THE JOINT AND INSPECTED BY THE ENGINEER AND/OR THE TOWN SANITARIAN WITHIN 24 HOURS. THE CONTRACTOR SHALL MONITOR THE WATER LEVEL IN THE TANK DURING THIS PERIOD AND SHALL PERMANENTLY REPAIR ANY LEAKS TO THE SATISFACTION OF THE ENGINEER AND THE TOWN SANITARIAN.
- THE LICENSED INSTALLER SHALL CONFIRM THAT NO LEDGE IS PRESENT WITHIN 48 INCHES BELOW THE BOTTOM OF THE PROPOSED LEACHING SYSTEM.
- THE CONTRACTOR SHALL GRADE THE AREA IN THE VICINITY OF THE LEACHING FIELD IN SUCH A MANNER THAT ALL SURFACE RUNOFF IS SUFFICIENTLY DIRECTED AWAY FROM THE LEACHING FIELD AREA AND NOT RESULT IN PONDING ON THE SUBJECT PROPERTY OR ANY ADJACENT PROPERTY OR ROADWAY.
- THE LICENSED INSTALLER SHALL INCLUDE ALL ADEQUATE PROVISIONS FOR FREEZE PROTECTION FOR ALL PIPING AND JUNCTIONS.
- LICENSED INSTALLER SHALL PROVIDE SIEVE ANALYSES FOR C-33 SAND AND SELECT FILL PRIOR TO CONSTRUCTION.
- THE APPROXIMATE LOCATION OF THE EXISTING SEPTIC SYSTEM IS SHOWN HEREON. ALL EXISTING SEPTIC SYSTEM COMPONENTS SHALL BE LOCATED IN THE FIELD AND PUMPED DRY AS NECESSARY. THE EXISTING BUILDING SEWER PIPE, SEPTIC TANK AND PUMP CHAMBER SHALL BE INSPECTED AND MAY REMAIN IF FOUND TO BE IN GOOD WORKING ORDER AND PROPERLY SIZED (SEE MINIMUM SEPTIC TANK SIZE ON THIS SHEET). CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING SEPTIC SYSTEM COMPONENTS THAT ARE TO REMAIN AND SHALL REMOVE AND REPLACE ANY SUBSTANDARD COMPONENTS IN THE SAME LOCATION AS NECESSARY. THE EXISTING DISTRIBUTION BOX, DISTRIBUTION PIPE, AND LEACHING SYSTEM SHALL BE COMPLETELY REMOVED IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE AND ALL APPLICABLE LOCAL REGULATIONS.

DEEP TEST PIT DATA

DATE: 5/4/2023
 WITNESSED BY: JOE WREN, P.E. (INDIGO)
 EXCAVATED BY: CHRIS HALLAHAN
 RECORDED BY: MELISSA HOWLEY (CRAHD)
 ALYSSA PANNONE (CRAHD)

TP #101

EXISTING GRADE ELEV. = 5.0±

0-18" FILL

18"-36" GRAY EXTREMELY FINE SAND & SILT

NO OBSERVED MOTTLING GROUNDWATER @ 22" (ELEV. = 3.2±)
 NO REFUSAL OR LEDGE

TP #102

EXISTING GRADE ELEV. = 8.0±

0-64" FILL

(GRAY SILT BELOW)

NO OBSERVED MOTTLING GROUNDWATER @ 64" (ELEV. = 2.7±)
 NO REFUSAL OR LEDGE

TP #103

EXISTING GRADE ELEV. = 7.3±

0-60" MIXED FILL

60"-68" BROWN MEDIUM COARSE SAND, SATURATED

NO OBSERVED MOTTLING GROUNDWATER @ 60" (ELEV. = 2.3±)
 NO REFUSAL OR LEDGE

TP #104

EXISTING GRADE ELEV. = 8.6±

0-44" TOPSOIL MIXED FILL W/ CLAY PIPE

44"-54" DARK GRAY VERY FINE SAND & SILT

MOTTLING @ 44" (ELEV. = 4.9±)
 NO OBSERVED GROUNDWATER
 NO REFUSAL OR LEDGE

TP #105

EXISTING GRADE = ELEV. 9.1±

0-10" TOPSOIL MIXED FILL W/ CLAY PIPE

19"-24" DARK GRAY VERY FINE SAND & SILT

24"-51" BROWN SAND & GRAVEL FILL

(CONCRETE FOOTING ENCOUNTERED @ 51")

NO OBSERVED MOTTLING
 NO OBSERVED GROUNDWATER
 NO REFUSAL OR LEDGE

TP #106

EXISTING GRADE ELEV. = 8.0±

0-6" FILL

6"-20" BROWN MEDIUM SAND

20"-53" FILL, BROWN SAND & DARK GRAY EXTREMELY FINE SAND & SILT

(CONCRETE, PLASTIC, ROPE ENCOUNTERED)

NO OBSERVED MOTTLING
 NO OBSERVED GROUNDWATER
 NO REFUSAL OR LEDGE

DEEP TEST PIT DATA

DATE: 10/4/2023
 WITNESSED BY: JOE WREN, P.E. (INDIGO)
 RECORDED BY: GREG MATTUS, R.S. (CRAHD)

TP #201

EXISTING GRADE ELEV. = 10.1±

0-6" DRIVEWAY ASPHALT & BASE

6"-61" FILL (MIXED)

61"-70" (@ 61" ELEV. = 5.0±) ORIGINAL TOPSOIL

70"-79" BROWN MEDIUM SAND, LOAMY SAND

79"-107" TAN MEDIUM SAND

MOTTLING @ ASTRONOMICAL HIGH TIDE GROUNDWATER @ 94" (ELEV. = 2.3±)
 NO REFUSAL

*SOIL TESTING CONDUCTED 10/4/2023, JUST AFTER THE WETTEST SEPTEMBER IN RECORDED HISTORY, AND DURING AN ASTRONOMICAL HIGH TIDE.

SANITARY SYSTEM DESIGN CRITERIA

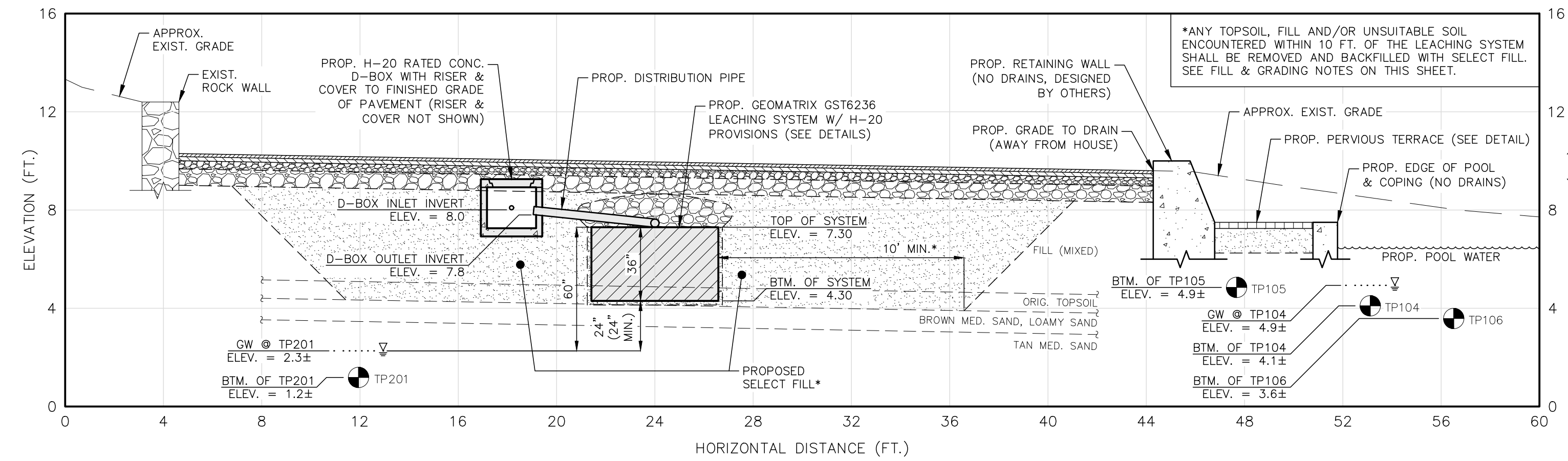
DESIGN PERC RATE	# OF BEDROOMS	REQUIRED LEACHING AREA	LEACHING SYSTEM TYPE	EFF. LEACHING AREA	LEACHING AREA PROVIDED	REQ'D TANK CAPACITY	TANK CAPACITY PROVIDED
LESS THAN 10.1 MINS./INCH (1)	4 BEDROOMS	577.5 S.F. (2)	23.0 L.F. OF GEOMATRIX GST6236 LEACHING SYSTEM W/ H-20 PROVISIONS	26.2 S.F./L.F.	602.6 S.F. (26.2 S.F./L.F. x 23.0 L.F.)	1,125 GALLONS (3)	1,250 GALLONS (3)

- FOR DESIGN PURPOSES, THE UNDERLYING SOILS ARE ASSUMED TO HAVE A PERCOLATION RATE OF 10 MINS./INCH OR LESS BASED ON TESTING ON ADJACENT PROPERTIES. PRIOR TO CONSTRUCTION, DESIGN ENGINEER SHALL CONDUCT PERCOLATION TEST(S) WITHIN THE LEACHING SYSTEM AREA TO CONFIRM THE DESIGN PERCOLATION RATE.
 - WITHIN THE LEACHING SYSTEM AREA E.L.A. REQUIRED = 495 S.F. (FIRST THREE BEDROOMS) + 82.5 S.F. (FOURTH BEDROOM) = 577.5 S.F. (TOTAL)
 - TANK CAPACITY REQUIRED = 1,000 GALLONS (FIRST THREE BEDROOMS) + 125 GALLONS (FOURTH BEDROOM) = 1,125 GALLONS -- USE A 1,250 GALLON SEPTIC TANK
- ALSO, SEE GENERAL NOTE #3 ON THIS SHEET.

MLSS COMPUTATIONS

DESIGN PERC RATE	# OF BEDROOMS	RECEIVING SOIL DEPTH	HYDRAULIC GRADIENT	HYDRAULIC FACTOR (HF)	FLOW FACTOR (FF)	PERCOLATION FACTOR (PF)	MLSS REQUIRED (HFxFFxPF)	MLSS PROVIDED
UP TO 10.0 MINS./INCH (1)	4 BEDROOMS	48.1-60.0 INCHES (2)	ESSENTIALLY ZERO (FLAT GROUNDWATER) (3)	30	1.75	1.0	52.5 FT.	56.3± FT. (4)

- FOR DESIGN PURPOSES, THE UNDERLYING SOILS ARE ASSUMED TO HAVE A PERCOLATION RATE OF 10 MINS./INCH OR LESS BASED ON TESTING ON ADJACENT PROPERTIES. PRIOR TO CONSTRUCTION, DESIGN ENGINEER SHALL CONDUCT PERCOLATION TEST(S) WITHIN THE LEACHING SYSTEM AREA TO CONFIRM THE DESIGN PERCOLATION RATE.
- THE PROPOSED LEACHING SYSTEM IS ABOVE NATURAL GRADE AND THEREFORE, PER THE CT PUBLIC HEALTH CODE, THE RECEIVING SOIL SHALL BE MEASURED FROM THE TOP OF THE LEACHING SYSTEM DOWN TO THE RESTRICTIVE LAYER AND MAY INCLUDE UP TO 24" OF SELECT FILL. SEE CALCULATIONS AND X-SECTION BELOW.
- RECEIVING SOIL DEPTH = 36" (THICKNESS OF LEACHING SYSTEM) + 24" (NATURAL SOIL OR SELECT FILL BELOW SYSTEM) = 60.0" -- USE A RECEIVING SOIL RANGE OF 48.1"-60.0" THE HYDRAULIC GRADIENT IS ASSUMED TO BE ESSENTIALLY ZERO WITH RADIAL FLOW BASED ON THE SITES PROXIMITY TO THE CONNECTICUT RIVER AND IT BEING SURROUNDED BY WATER ON THREE SIDES.
- M.L.S.S. PROVIDED = 2 x 23 L.F. (LENGTH OF SYSTEM) + 2 x 5.17 L.F. (WIDTH OF SYSTEM) = 56.3± L.F.



PROPOSED LEACHING SYSTEM PROFILE - X-SECTION A-A
 HORIZ. SCALE = VERT. SCALE = 1"=4"

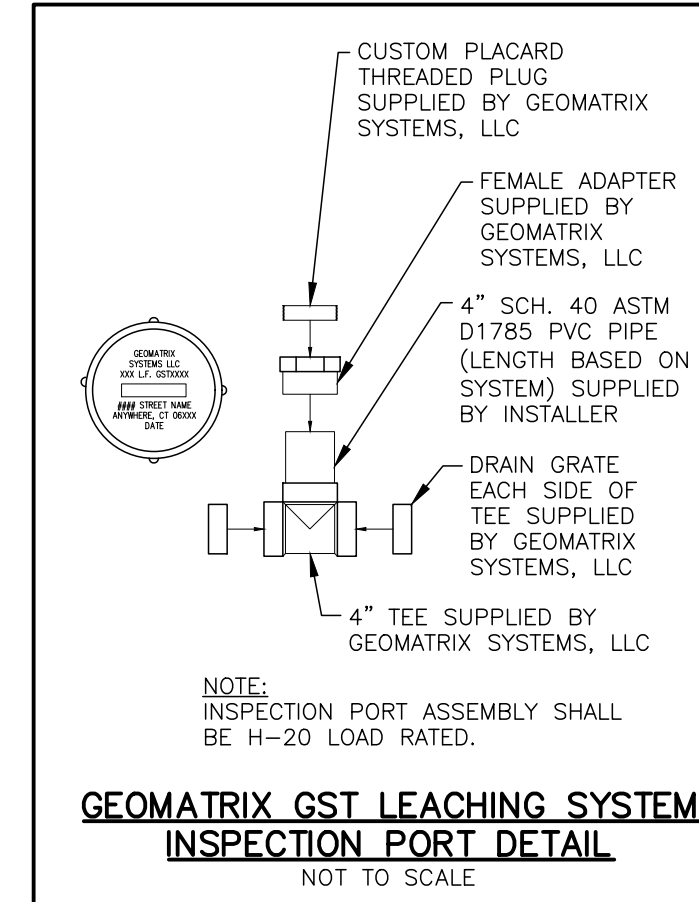
FILL AND GRADING NOTES (SEPTIC SYSTEM):

- REMOVE ALL TOPSOIL, FILL AND/OR UNSUITABLE SOIL WITHIN THE SYSTEM AREA AND SCARIFY THE SURFACE IN THE PROPOSED LEACHING SYSTEM AREA PRIOR TO PLACING ANY SELECT FILL MATERIAL. AVOID COMPACTING THE SCARIFIED AREA. FILL SHALL NOT BE PLACED OVER SNOW OR FROZEN GROUND. DISCONTINUE FILL PLACEMENT DURING HEAVY RAINFALL AND A MINIMUM OF 24 HOURS THEREAFTER. THE SELECT FILL MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 90% DENSITY.
- SELECT FILL MATERIAL SHALL CONSIST OF CLEAN SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE PUBLIC HEALTH CODE PROVIDED IN THE TABLE ON THIS SHEET.
- THE LICENSED INSTALLER SHALL BE RESPONSIBLE FOR PREPARING THE LEACHING AREA UTILIZING THE SELECT FILL MATERIAL.
- ALL NECESSARY STEPS SHALL BE TAKEN TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVER COMPACTION AND SILTATION ONCE EXPOSED.
- THE CONTRACTOR SHALL PROVIDE GRADATION SPECIFICATIONS OF THE SELECT FILL MATERIAL TO BE USED FOR THE PROPOSED SEPTIC SYSTEM TO THE DESIGN ENGINEER AND TOWN SANITARIAN PRIOR TO ORDERING AND INSTALLATION.

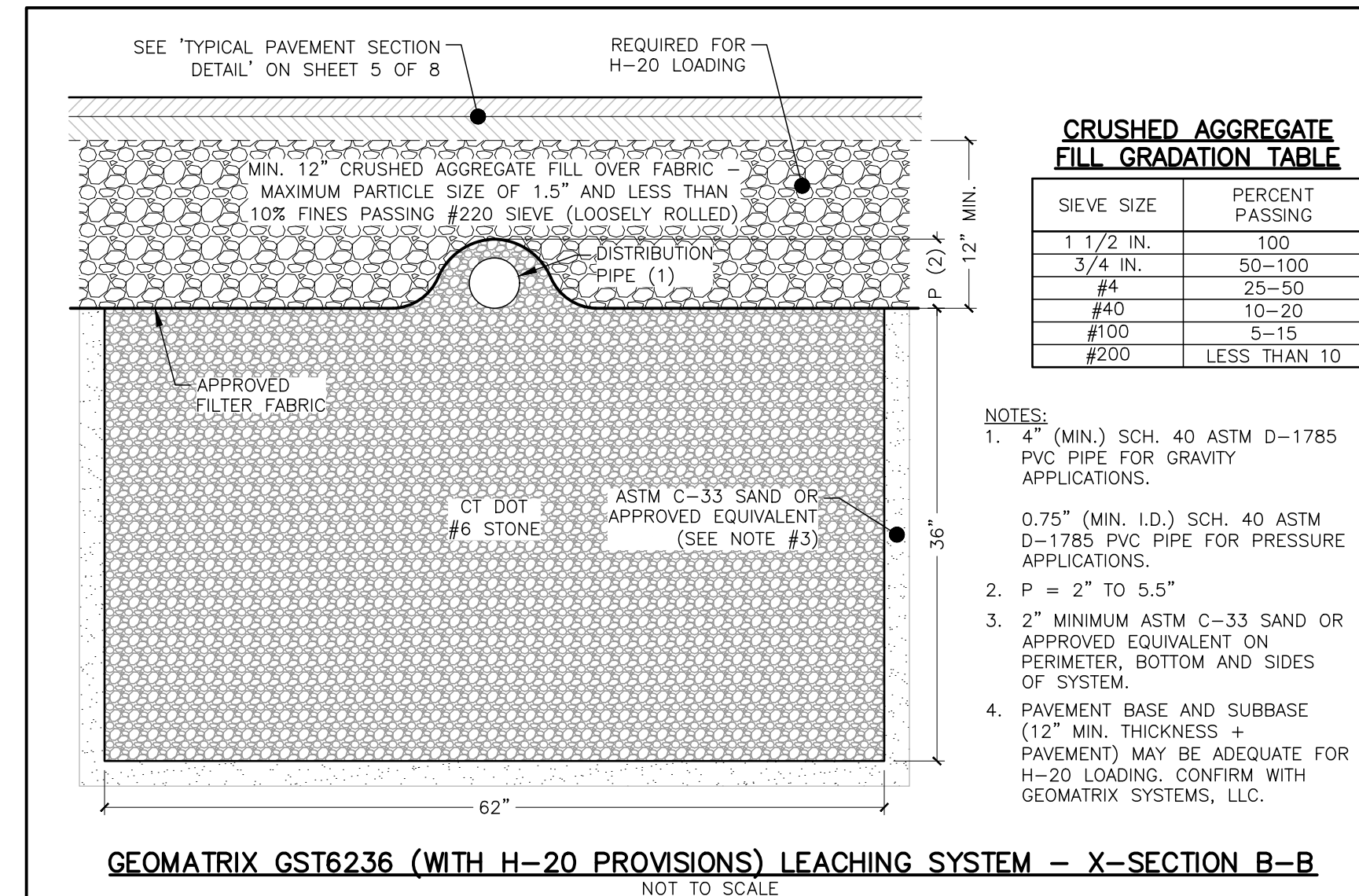
SELECT FILL GRADATION TABLE

SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100	100
#10	70-100	70-100
#40	10-50*	10-75
#100	0-20	0-5
#200	0-5	0-2.5

- * PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- ** A SIEVE ANALYSIS FOR THE SELECT FILL MATERIAL SHALL BE PROVIDED TO THE DESIGN ENGINEER. ONLY THE DESIGN ENGINEER MAY APPROVE SELECT FILL MATERIAL NOT IN COMPLIANCE WITH THE GRADATION TABLE IF THE MATERIAL PASSING THE #200 SIEVE DOES NOT EXCEED 6% BASED ON WET SIEVE.



GEOMATRIX GST LEACHING SYSTEM INSPECTION PORT DETAIL
 NOT TO SCALE



GEOMATRIX GST6236 (WITH H-20 PROVISIONS) LEACHING SYSTEM - X-SECTION B-B
 NOT TO SCALE

CRUSHED AGGREGATE FILL GRADATION TABLE

SIEVE SIZE	PERCENT PASSING
1 1/2 IN.	100
3/4 IN.	50-100
25-50	25-50
#40	10-20
#100	5-15
#200	LESS THAN 10

- NOTES:
- 4" (MIN.) SCH. 40 ASTM D-1785 PVC PIPE FOR GRAVITY APPLICATIONS.
 - 0.75" (MIN. I.D.) SCH. 40 ASTM D-1785 PVC PIPE FOR PRESSURE APPLICATIONS.
 - 2" MINIMUM ASTM C-33 SAND OR APPROVED EQUIVALENT ON PERIMETER, BOTTOM AND SIDES OF SYSTEM.
 - PAVEMENT BASE AND SUBBASE (12" MIN. THICKNESS + PAVEMENT) MAY BE ADEQUATE FOR H-20 LOADING. CONFIRM WITH GEOMATRIX SYSTEMS, LLC.

PLAN PREPARED BY:
 INDIGO LAND DESIGN, LLC
 JOSEPH WREN, P.E.
 CT REG. NO. 21090
 100 BAYVIEW, 2ND FLOOR
 OLD SAYBROOK, CT 06475
 PHONE: (860) 388-9383
 WEB: INDIGO-LAND.COM

THE EMBOSSED SEAL OF THE REGISTERED PROFESSIONAL ENGINEER MUST BE AFFIXED HERE FOR THIS MAP TO BE VALID

#	DATE	DESCRIPTION	BY

SOIL TEST DATA & SEPTIC DESIGN CRITERIA
 PREPARED FOR NORTH COVE ASSOCIATES LLC
 201 N. COVE RD. (MAP 32 LOT 11) & N. COVE RD. (MAP 32 LOT 16)
 OLD SAYBROOK, CONNECTICUT

DATE: FEBRUARY 14, 2024
 SCALE: AS NOTED
 DRAWN BY: RG
 CHECKED BY: JW
 DWG. NO.: ST-1
 SHEET NO.: 3 of 4
 JOB NO.: 2022-889

SOIL EROSION & SEDIMENTATION CONTROL PLAN NARRATIVE

THE SITE CONTRACTOR MUST FOLLOW ALL GUIDELINES SET FORTH IN THE MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION. THIS MANUAL IS ALSO KNOWN AS DEP BULLETIN 34.

PROJECT DESCRIPTION

THE APPLICANT IS PROPOSING TO CONSTRUCT ADDITIONS ONTO THE EXISTING 4-BEDROOM, 3-STORY, YEAR-ROUND DWELLING WITH AN OPEN COVERED PORCH, DECKS AND A BALCONY. INSTALL AN INGROUND POOL WITH A PERVIOUS TERRACE AND OTHER ASSOCIATED IMPROVEMENTS. THE NUMBER OF BEDROOMS WILL REMAIN UNCHANGED.

CONSTRUCTION IS ANTICIPATED TO COMMENCE IN SPRING 2024. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES. E & S CONTROLS SHALL BE MAINTAINED AND REPAIRED OR REPLACED AS NEEDED THROUGHOUT THE CONSTRUCTION DURATION. ALL E & S CONTROLS SHALL BE REMOVED AND PROPERLY DISPOSED OF AS SOON AS THE SITE IS COMPLETELY STABILIZED.

CONSTRUCTION SEQUENCE

- CONTACT "CALL BEFORE YOU DIG" TO MARK OUT ALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ENSURE ALL LAND USE PERMITS HAVE BEEN SECURED. OBTAIN ALL NECESSARY PERMITS.
- INSTALL ALL EROSION AND SEDIMENT CONTROLS.
- LAND SURVEYOR TO STAKE OUT PROPOSED IMPROVEMENTS.
- ROUGH GRADE POOL AND TERRACE AREA.
- STRIP AND STOCKPILE TOPSOIL AND OTHER EXCAVATED SOILS IN AREA(S) SHOWN ON PLAN. APPLY TEMPORARY SEED MIXTURE TO PILES IF THEY WILL NOT BE DISTURBED FOR MORE THAN 30 DAYS.
- PARTIALLY DEMOLISH EXISTING STEPS AND DECKS AS NECESSARY.
- CONSTRUCT THE FOUNDATION FOR THE PROPOSED ADDITIONS.
- FRAME AND CONSTRUCT THE PROPOSED ADDITIONS.
- INSTALL PROPOSED SEPTIC SYSTEM AND UNDERGROUND UTILITIES.
- INSTALL DECKS, POOL AND TERRACE.
- FINISH GRADE, SEED AND MULCH ALL DISTURBED AREAS AS REQUIRED.
- REMOVE ALL EROSION AND SEDIMENT CONTROLS ONCE SITE IS COMPLETELY STABILIZED. DISPOSE OF PROPERLY.

LAND DISTURBANCE

- ALL EXISTING VEGETATION OUTSIDE OF THE CLEARING LIMITS SHALL BE PROTECTED. EXISTING VEGETATION SHALL BE REMOVED ONLY IN AREAS NECESSARY FOR SITE CONSTRUCTION ACTIVITIES. ANY ADDITIONAL CLEARING OUTSIDE OF THE PROPOSED CLEARING LIMITS SHALL BE APPROVED BY TOWN STAFF PRIOR TO CLEARING.
- ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO SITE DEVELOPMENT.
- ALL CONSTRUCTION EQUIPMENT, MATERIALS AND STOCKPILES SHALL NOT BE PLACED OUTSIDE OF THE DISTURBED AREAS.
- ALL TREES, BRUSH, STUMPS, WOOD CHIPS OR OTHER ORGANIC MATTER SHALL BE DISPOSED OF PROPERLY OFF-SITE. WOOD CHIPS MAY BE USED AS A SILTATION BARRIER DURING CONSTRUCTION AND SPREAD AFTER SITE IS STABILIZED. NO ORGANIC MATTER INCLUDING TREES, BRUSH AND STUMPS SHALL BE BURIED ON-SITE.

STRIPPING AND STOCKPILING

ALL STOCKPILES THAT CONSIST OF ERODIBLE MATERIALS SHALL BE LOCATED WITHIN AREAS AS SHOWN ON THE SITE PLAN AND SURROUNDED BY A SILTATION BARRIER. ANY STOCKPILE THAT WILL REMAIN UNDISTURBED FOR A PERIOD LONGER THAN 30 DAYS SHALL BE SEEDED WITH A TEMPORARY GRASS SEED MIXTURE TO PREVENT EXCESSIVE EROSION AND SEDIMENTATION.

TRENCH EXCAVATION AND BACKFILL

THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL BACKFILLED EXCAVATIONS. ANY DEPRESSIONS DUE TO SETTLING IN THESE AREAS SHALL BE FILLED AND RESEDED AS NECESSARY.

THE WIDTH OF ALL EXCAVATED TRENCHES SHALL BE KEPT AS NARROW AS PRACTICABLE TO ACCOMMODATE THE WORK. ALL MATERIALS EXCAVATED FROM TRENCHES SHALL BE STOCKPILED AND USED AS TRENCH BACKFILL MATERIAL UNLESS IT IS DETERMINED TO BE UNSUITABLE BY THE ENGINEER. EXCESS MATERIALS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROLS

ALL ADJACENT PROPERTIES AND RECEIVING WATERCOURSES AND / OR WETLAND AREAS SHALL BE ADEQUATELY PROTECTED FROM SOIL EROSION AND SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION.

ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED BY THE TOWN AND SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS BEFORE, DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ALL EROSION AND SEDIMENT CONTROLS ONCE THE SITE IS COMPLETELY STABILIZED.

ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER ALL RAINFALL EVENTS. E & S CONTROLS SHALL BE REPAIRED OR REPLACED AS NECESSARY WITHIN 24 HOURS THROUGHOUT THE CONSTRUCTION DURATION.

IF NECESSARY, A TEMPORARY FILTER FABRIC SILT BARRIER SHALL BE PLACED BENEATH THE GRATE OF THE PROPOSED CATCH BASIN TO PREVENT ANY SILTATION OF THE DRAINAGE SYSTEM. THE FILTER FABRIC SHALL BE REMOVED IMMEDIATELY AFTER THE SURROUNDING AREAS ARE ADEQUATELY STABILIZED.

ALL ACCUMULATED SEDIMENTS AT ALL EROSION AND SEDIMENT CONTROLS SHALL BE PERIODICALLY REMOVED AND SPREAD IN AREAS THAT ARE NOT SUBJECT TO EROSION.

THE CONTRACTOR SHALL EMPLOY BEST MANAGEMENT PRACTICES TO CONTROL STORMWATER DISCHARGES AND TO PREVENT EROSION AND SEDIMENTATION AND TO OTHERWISE PREVENT POLLUTION OF WETLANDS OR WATERCOURSES OR PRIVATE PROPERTY. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE TOWN OF ANY PROBLEMS INVOLVING EROSION AND/OR SEDIMENTATION THAT HAVE DEVELOPED IN THE COURSE OF, OR THAT ARE CAUSED BY, THE AUTHORIZED WORK.

THE RESPONSIBLE CONTACT PERSON FOR THE INSTALLATION AND MAINTENANCE OR EROSION AND SEDIMENTATION CONTROLS ON THIS PROJECT WILL BE THE SITE CONTRACTOR AND / OR THE GENERAL CONTRACTOR. ONCE THE GENERAL CONTRACTOR IS SELECTED, CONTACT INFORMATION WILL BE PROVIDED TO THE TOWN.

VEGETATIVE TURF ESTABLISHMENT PROCEDURE

SCARIFY ALL AREAS TO BE TOPSOILED AND SEEDED. APPLY A MINIMUM OF 4 INCHES OF TOPSOIL ON ALL AREAS TO BE SEEDED. APPLY GRASS SEED, LIME, FERTILIZER AND MULCH ACCORDING TO THE FOLLOWING SCHEDULE:

PERMANENT SEED MIXTURE:	
CREeping RED FESCUE	0.45 LBS. PER 1,000 SQ. FT.
REDTOP	0.05
TALL FESCUE	0.45
TOTAL	0.95

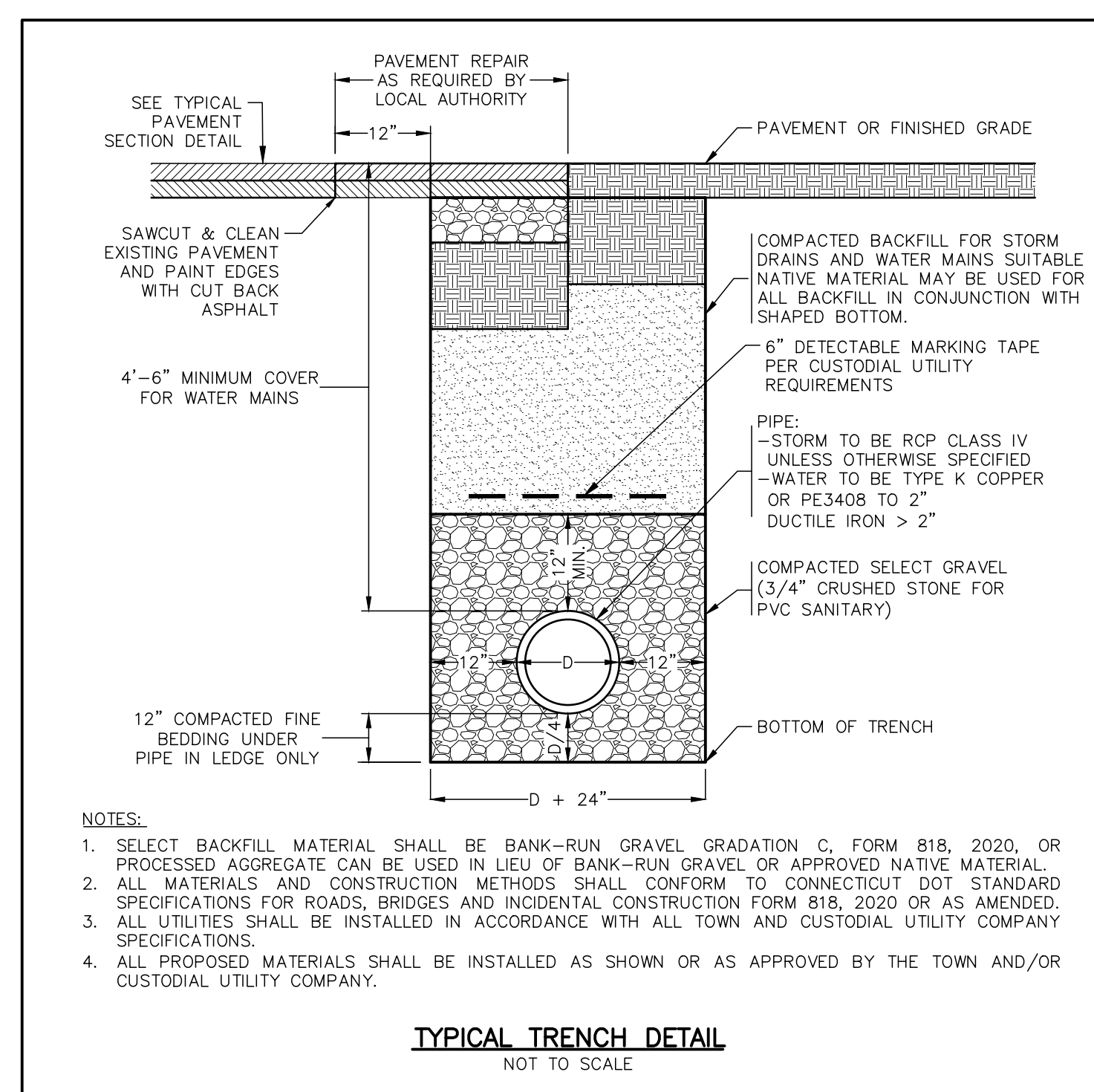
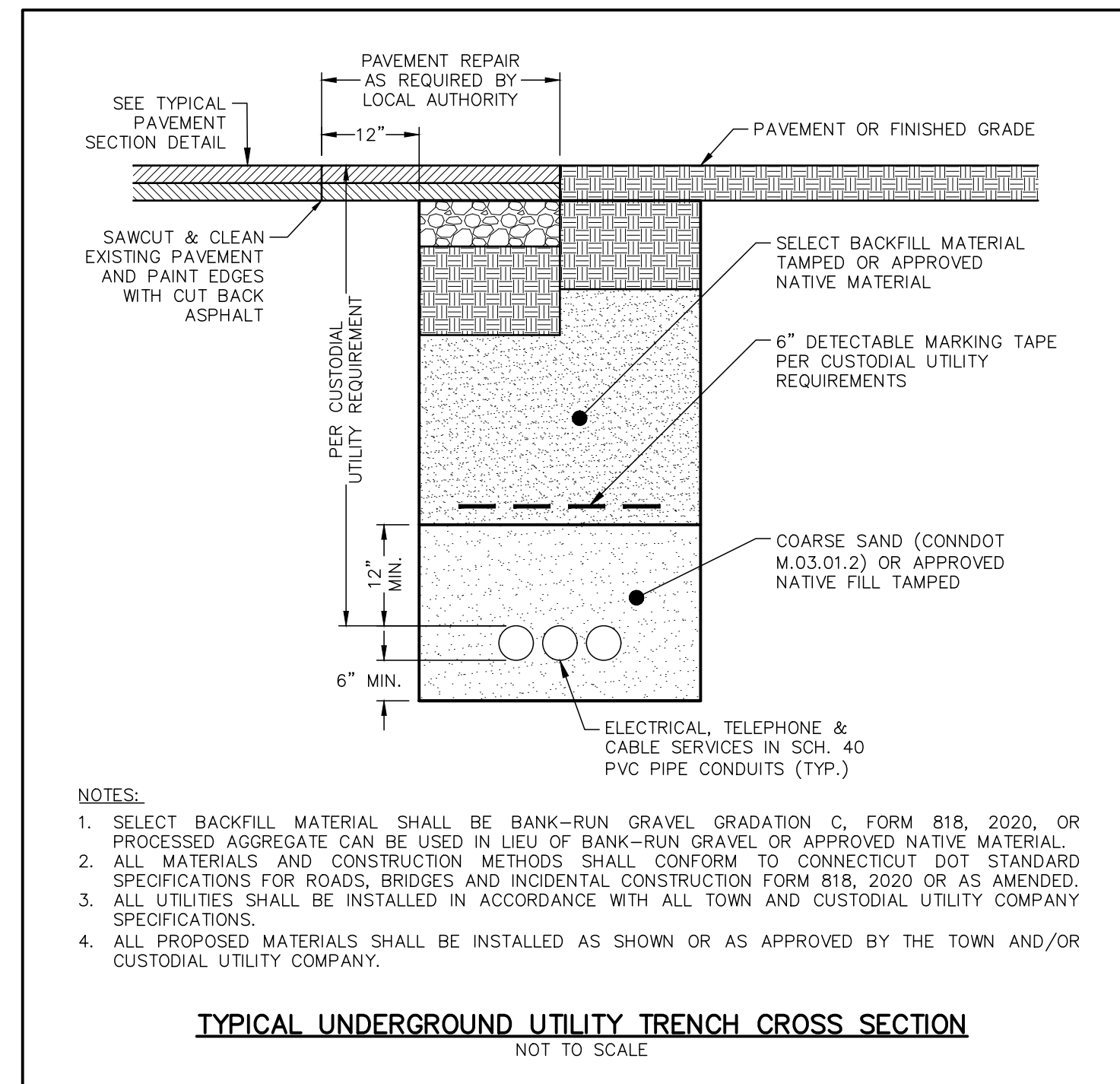
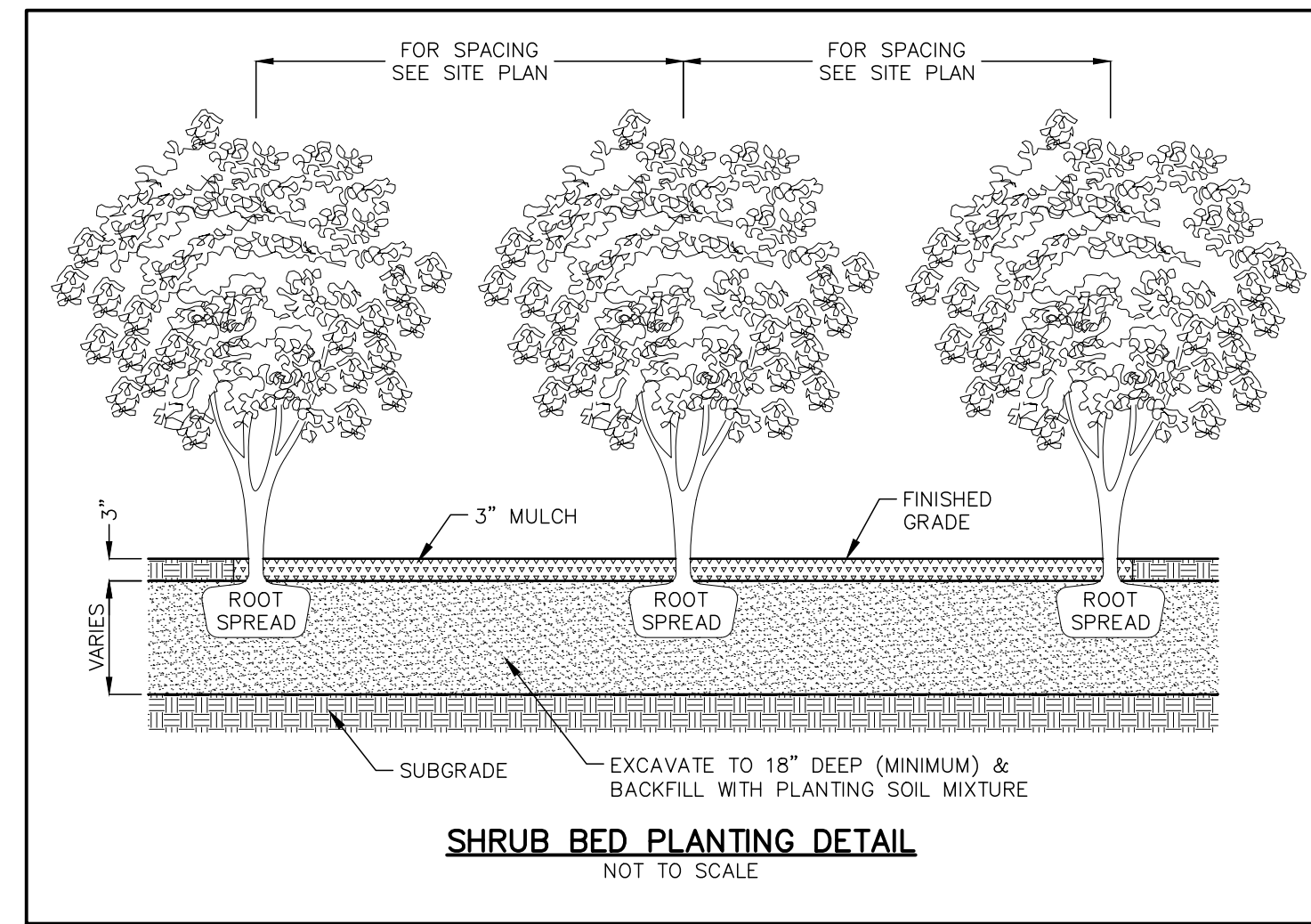
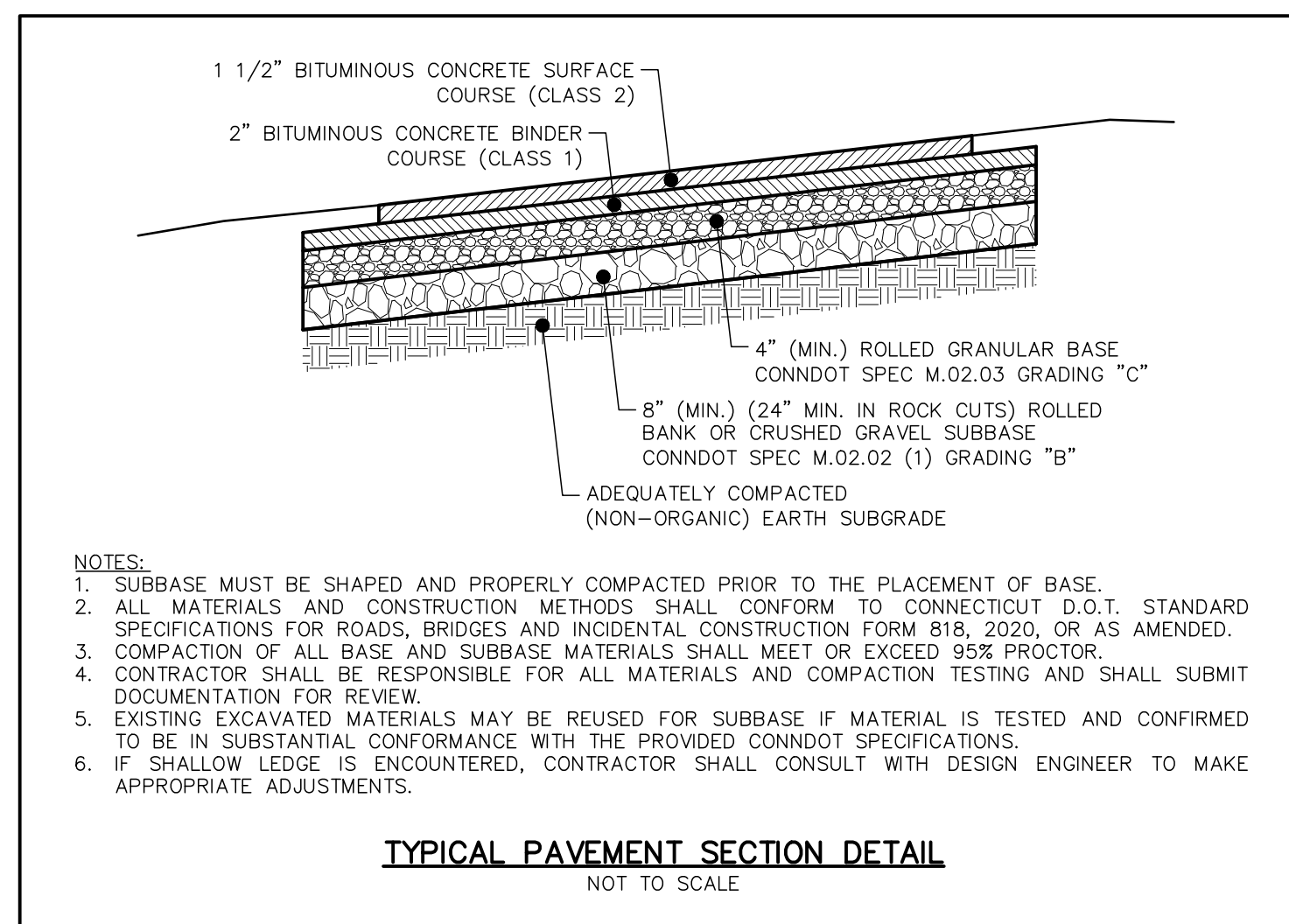
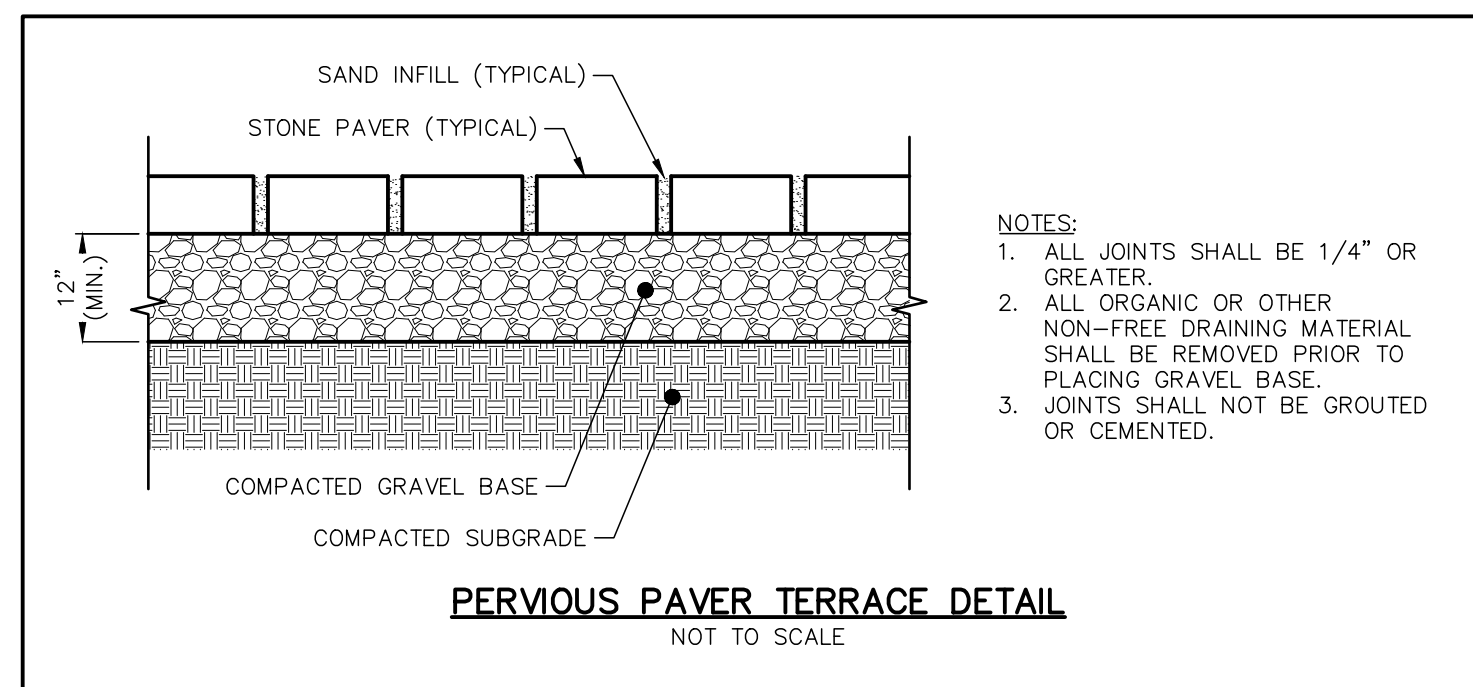
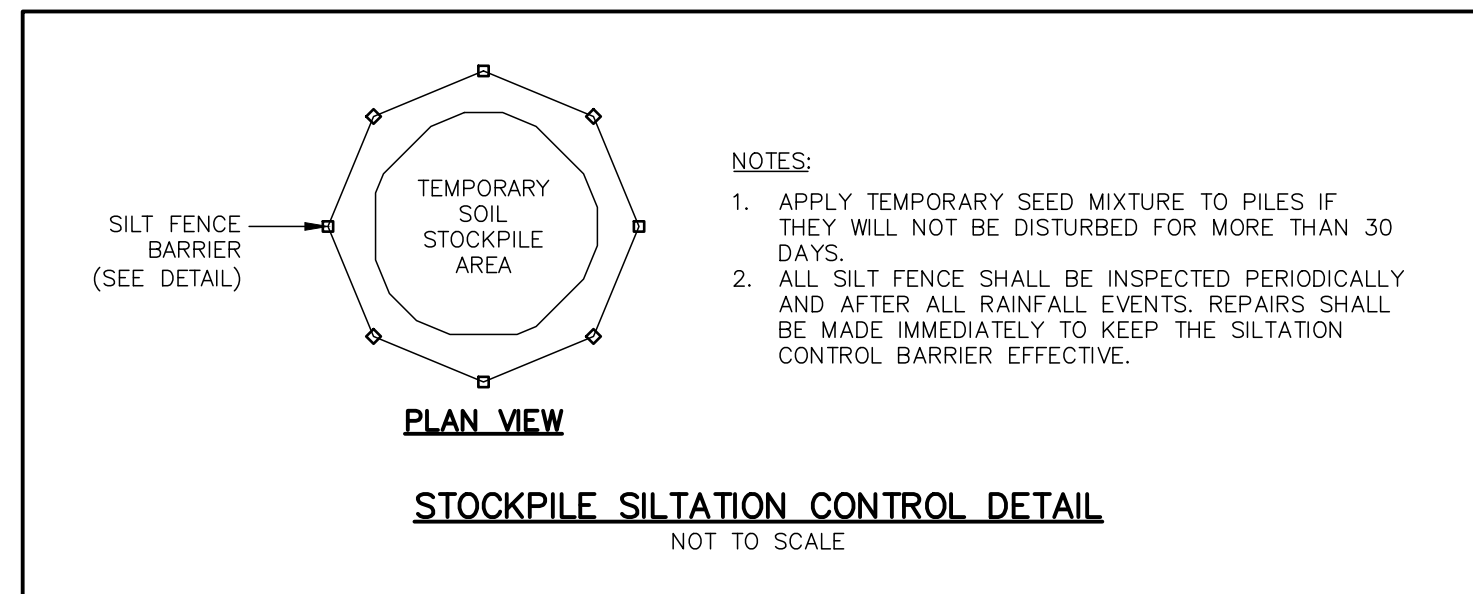
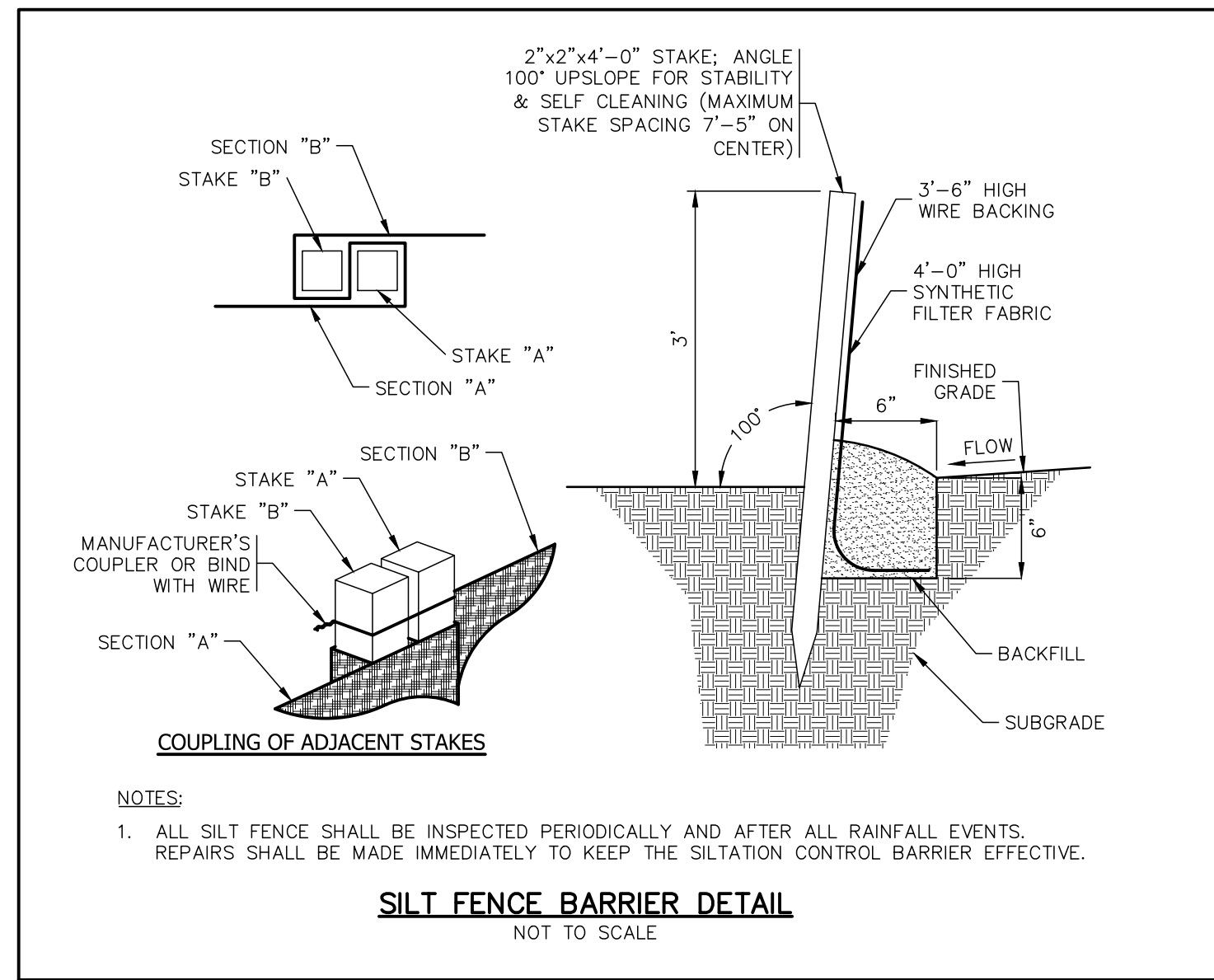
FERTILIZER:	
10-10-10 APPLY AT 7.5 LBS. PER 1,000 SQ. FT.	

LIMESTONE:	
APPLY AT 150 LBS. PER 1,000 SQ. FT.	

MULCHING:
SPREAD HAY OR STRAW OVER ALL AREAS AFTER SEEDING. USE 1 1/2 TO 2 BALES PER 1,000 SQ. FT. TARGET FOR 100% COVERAGE. ANCHOR BY USING NETTING OR TRACKING AS NECESSARY.

TEMPORARY EROSION CONTROL BLANKETS:
USE TEMPORARY EROSION CONTROL BLANKETS ON ALL SEEDED SLOPES STEEPER THAN 3 (H) TO 1 (V) AND/OR AS DIRECTED BY THE DESIGN ENGINEER.

SEEDING DATES:
SEEDING DATES IN CONNECTICUT ARE NORMALLY APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1. SEED GERMINATION NORMALLY CANNOT BE EXPECTED FROM NOVEMBER THROUGH FEBRUARY. IF ADEQUATE SEED GERMINATION IS NOT POSSIBLE DUE TO TIME OF YEAR CONSTRAINTS, MULCHING SHALL BE ADEQUATELY PROVIDED TO PROTECT THE SEED FROM WIND AND SURFACE EROSION UNTIL THE WEATHER IMPROVES AND THE SEEDING BECOMES WELL ESTABLISHED.



PLAN PREPARED BY:
INDIGO LAND DESIGN, LLC
JOSEPH WREN, P.E.
CT REG. NO. 21090
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MANSFIELD, CT 06109
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THE EMBOSSED SEAL OF THE CONTRACTOR SHALL BE AFFIXED HERE FOR THIS MAP TO BE VALID

#	DATE	DESCRIPTION	BY

E&S NARRATIVE & CONSTRUCTION DETAILS
PREPARED FOR NORTH COVE ASSOCIATES LLC
201 N. COVE RD. (MAP 32 LOT 11) & N. COVE RD. (MAP 32 LOT 16)
OLD SAYBROOK, CONNECTICUT

DATE:	FEBRUARY 14, 2024
SCALE:	AS NOTED
DRAWN BY:	RG
CHECKED BY:	JW
DWG. NO.:	ES-1
SHEET NO.:	4 of 4
JOB NO.:	2022-889