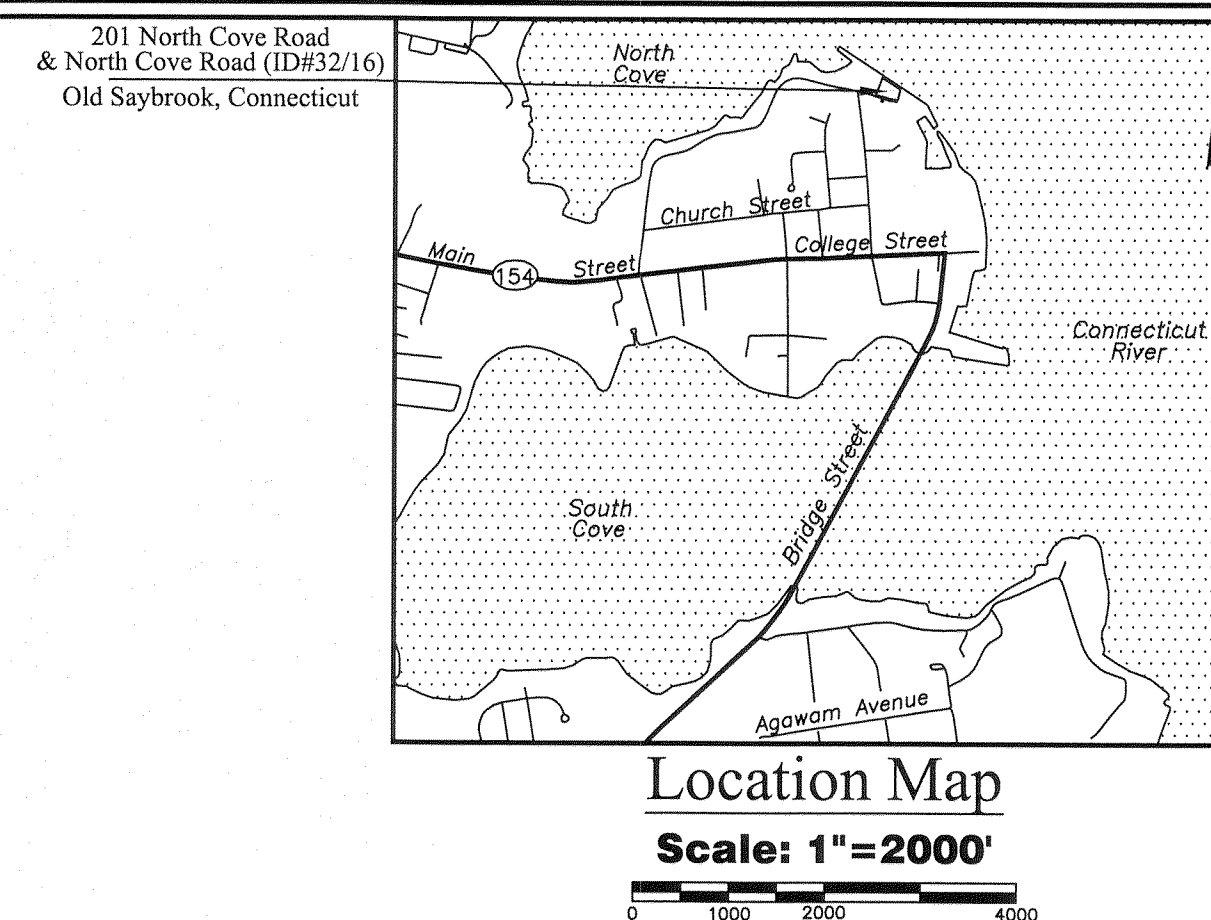
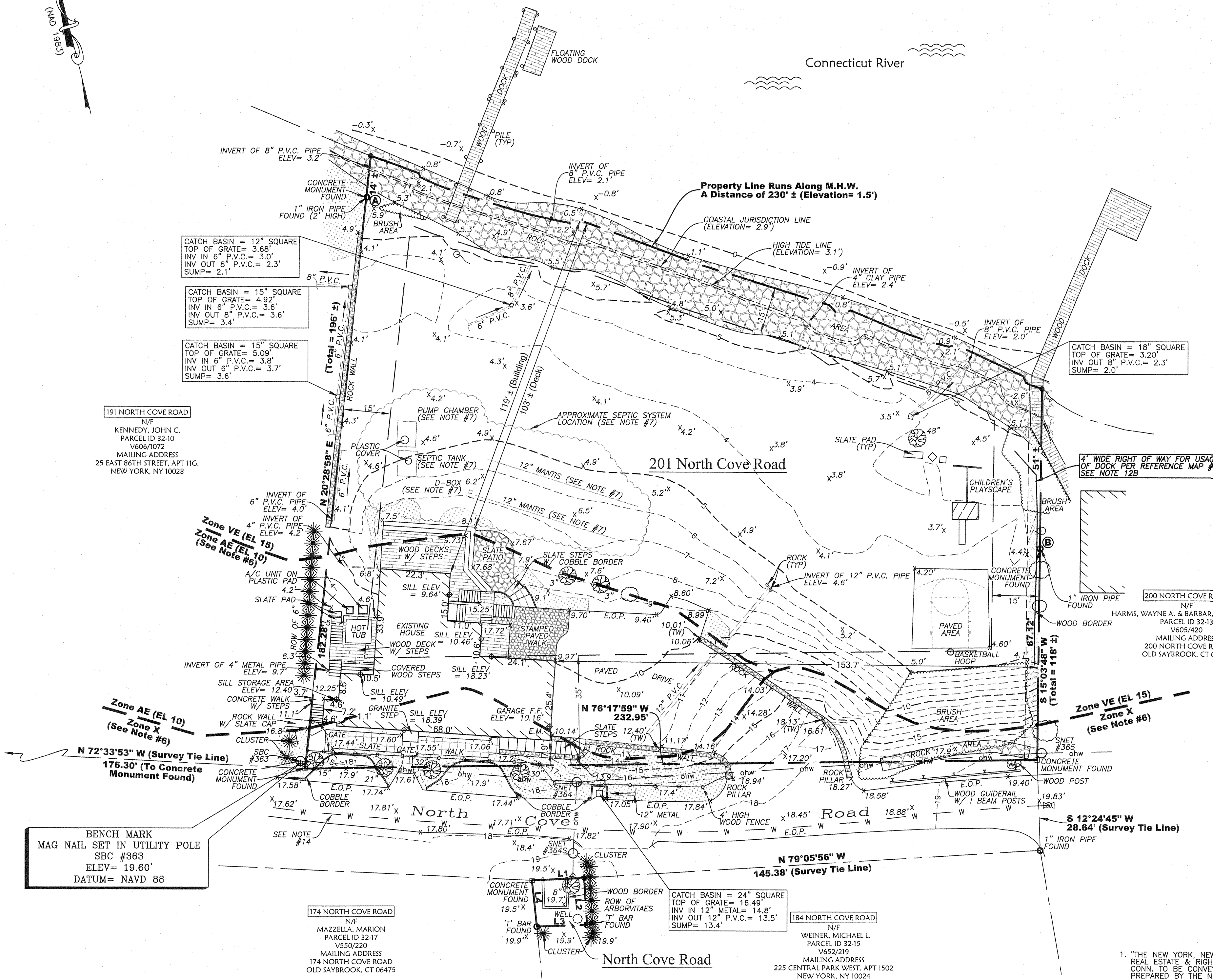
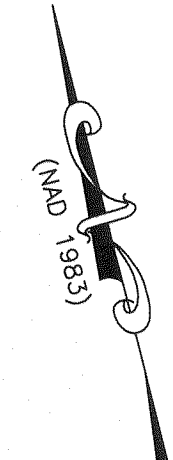


Legend

SYMBOL	DESCRIPTION
●	PROPERTY CORNER
○	IP / REBAR
□	MON / MERESTONE
○	BENCH MARK
○	UTILITY POLE
○	UTILITY POLE W/ LIGHT
○	GUY WIRE
○	WELL
○	GAS VALVE
○	WATER VALVE
○	WATER METER
○	FIRE HYDRANT
○	CATCH BASIN
○	MANHOLE
○	SIGN
○	LIGHT POLE
○	YARD LIGHT
○	WOOD POST
○	FLAGPOLE
○	PILE
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	SHRUB
○	STUMP
○	HEDGE
○	STONEWALL
○	TREELINE
○	FENCE LINE
○	OVERHEAD WIRES
○	WATER LINE
○	PROPERTY LINE
○	PROPERTY LINE OTHER
○	ROAD PAINTMARKS
○	INDEX CONTOUR
○	INTERMEDIATE CONTOUR
○	SETBACK LINE
○	HIGH TIDE LINE
○	COASTAL JURISDICTION LINE
○	BURIED SEPTIC
○	FEMA ZONE LINE
○	BUILDING OVERHANG
○	SPOT ELEVATION
○	PLANTED AREA
○	GRAVEL AREA
○	EXISTING EASEMENT
○	EXISTING BUILDING
○	N/O FORMERLY
○	ELEV / EL
○	E.M.
○	(TYP)
○	C.M.P.
○	R.C.P.
○	C.P.P.
○	P.V.C.
○	E.O.P.
○	B.C.L.C.
○	(TW)
○	W/
○	F.F.



- Notes**
- THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF THE LAND SURVEYORS, INC. ON OCTOBER 26, 2018. A. TYPE OF SURVEY: ZONING LOCATION SURVEY. B. WITH RESPECT TO THE PERIMETER OF THE PROPERTY THE BOUNDARY DETERMINATION IS BASED UPON A RESURVEY OF REFERENCE MAP #15. C. THIS SURVEY CONFORMS TO THE STANDARDS AND THE ACCURACY OF CLASS: A-2 HORIZONTAL & T-2 TOPOGRAPHIC ACCURACY. D. BEARINGS AS DEPICTED ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983 E. ELEVATIONS BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 F. CONTOUR INTERVAL = 1' G. THE INTENT OF THIS MAP IS TO DEPICT THE EXISTING CONDITIONS OF THE PROPERTY AND THEIR RELATIONSHIP TO THE ZONING REQUIREMENTS OF THE TOWN OF OLD SAYBROOK.
 - BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATIONAL PURPOSES ONLY AND ARE NOT TO BE CONSTRUED AS USED ACCURATELY LOCATED OR DEPICTED.
 - THE WORD "CERTIFY" AS USED IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR. IT IS A DECLARATORY STATEMENT, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE NOR WARRANTY, EXPRESSED OR IMPLIED, OF ANY INFORMATION CONTAINED HEREON. NO CERTIFICATION IS EXPRESSED OR IMPLIED ON ANY ORIGINAL OR ANY DUPLICATE OF THIS MAP UNLESS IT BEARS AN ORIGINAL STAMP OR SEAL AND ORIGINAL SIGNATURE OF THE INDIVIDUAL WHOSE REGISTRATION NUMBER APPEARS HEREON.
 - THIS MAP IS THE PROPERTY OF GESICK & ASSOCIATES P.C. AND HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER OF THIS PROJECT OR PROPERTY. IT IS NOT TO BE DUPLICATED OR USED IN PART OR WHOLE FOR ANY OTHER PURPOSE, PROJECT, LOCATION, OR OWNER WITHOUT THE EXPRESS WRITTEN CONSENT OF GESICK & ASSOCIATES P.C.
 - BASE MAPPING PREPARED BY GESICK & ASSOCIATES P.C. FROM A 12/28/2020 FIELD SURVEY.
 - THE FLOOD ZONE BOUNDARIES SHOWN WERE DERIVED UTILIZING FLOOD INSURANCE RATE MAPS. THE FLOOD ZONE BOUNDARIES WERE DIGITIZED AND ARE TO BE CONSIDERED AS APPROXIMATE ONLY AND FOR INFORMATIONAL PURPOSES ONLY.
 - THE WORD "CERTIFY" AS USED IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR. IT IS A DECLARATORY STATEMENT, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH IT CONSTITUTES NEITHER GUARANTEE NOR WARRANTY, EXPRESSED OR IMPLIED, OF ANY INFORMATION CONTAINED HEREON. NO CERTIFICATION IS EXPRESSED OR IMPLIED ON ANY ORIGINAL OR ANY DUPLICATE OF THIS MAP UNLESS IT BEARS AN ORIGINAL STAMP OR SEAL AND ORIGINAL SIGNATURE OF THE INDIVIDUAL WHOSE REGISTRATION NUMBER APPEARS HEREON.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND LIMITED FIELD INVESTIGATIONS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GESICK & ASSOCIATES, P.C. THE SITE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-322-4455.
 - SURVEY TIE LINE FOR MATHEMATICAL CLOSURE OF SURVEY, NOT PROPERTY LINE. SURVEY TIE LINE @-@ S 48°09'57" E - 241.55'.
 - TREES SHOWN ON THIS MAP WERE FIELD LOCATED BUT ARE NOT SHOWN TO SCALE.
 - UNLESS OTHERWISE NOTED, BUILDING OFFSETS ARE TO BUILDING SIDING ABOVE THE FOUNDATION.
 - 201 NORTH COVE ROAD IS SUBJECT TO THE FOLLOWING: A. THE USE OF A STRIP OF LAND FOR A RIGHT OF WAY FOUR FEET IN WIDTH RUNNING FROM THE ROAD, NORTHERLY TO THE WATERS OF THE CONNECTICUT RIVER, AND THE RIGHT TO CONSTRUCT AND MAINTAIN A BOAT LANDING, ALL AS SET FORTH IN A CERTAIN DEED FROM ALEXANDER LUCHERO TO MARIE LOUISA CROCKETT DATED MAY 10, 1929 AND RECORDED IN VOLUME 32 AT PAGE 20 OF THE OLD SAYBROOK LAND RECORDS, AS FURTHER CLARIFIED BY AN AGREEMENT BETWEEN ROSWELL B. WHIDDEN AND J. COURTNEY DODGE AND WINIFRED A. DODGE DATED MARCH 31, 1961 AND RECORDED IN VOLUME 92 AT PAGE 398 OF THE OLD SAYBROOK LAND RECORDS. B. GRANT OF RIGHT OF WAY AND USAGE OF DOCK DATED JUNE 11, 1990 AND RECORDED JUNE 12, 1990 IN VOLUME 280 AT PAGE 202 OF THE OLD SAYBROOK LAND RECORDS. C. VARIANCE FROM THE TOWN OF OLD SAYBROOK DATED DECEMBER 6, 1998 AND RECORDED DECEMBER 10, 1998 IN VOLUME 362 AT PAGE 713 OF THE OLD SAYBROOK LAND RECORDS. D. NOTICE REGARDING NORTH COVE HISTORIC DISTRICT DATED JUNE 16, 2015 AND RECORDED JUNE 16, 2015 IN VOLUME 605 AT PAGE 954 OF THE OLD SAYBROOK LAND RECORDS.
 - MEAN HIGH WATER IS AT ELEVATION 1.5', HIGH TIDE LINE IS AT ELEVATION 3.1' AND THE COASTAL JURISDICTION LINE IS AT ELEVATION 2.9'.
 - WATER MAIN SHOWN TAKEN FROM MAPPING PROVIDED BY THE CONNECTICUT WATER COMPANY AND IS MEANT TO BE SHOWN AS AN APPROXIMATE LOCATION ONLY.
 - PARCEL IS LOCATED IN THE NORTH COVE HISTORIC DISTRICT.

Reference Maps

- "THE NEW YORK, NEW HAVEN & HARTFORD RAILROAD CO. REAL ESTATE & RIGHT OF WAY DEPARTMENT LAND IN OLD SAYBROOK CONN. TO BE CONVEYED TO HELEN A. NELSON" PREPARED BY THE NEW YORK, NEW HAVEN & HARTFORD RAILROAD CO. DATED JULY, 1924. SCALE 1"=100' TOWN CLERK MAP #80 B
- "MAP OF PROPERTY OF ROSWELL B. WHIDDEN, NORTH COVE ROAD SAYBROOK POINT, OLD SAYBROOK, CONNECTICUT" PREPARED BY MERRITT B. CHALKER DATED OCTOBER 15, 1956. SCALE 1"=20' TOWN CLERK MAP #879
- "PROPERTY OF HEUBERER & SPARLING, OLD SAYBROOK CONN. CONVEYED TO J. COURTNEY & WINIFRED DODGE CHAPPAQUA, NEW YORK" PREPARED BY COASTAL ENGINEERING & SURVEY ASSOCIATES DATED NOVEMBER, 1959. SCALE 1"=20' TOWN CLERK MAP #5898
- "PROPERTY OF THEODORE H. KRUEGER, JR. AND SUSAN KRUEGER FORMERLY PROPERTY OF METHER I. RANKIN, NORTH COVE ROAD EXTENSION, SAYBROOK POINT, OLD SAYBROOK, CONN." PREPARED BY MERRITT B. CHALKER DATED SEPTEMBER 10, 1965. SCALE 1"=30' TOWN CLERK MAP #842
- "SURVEY PLAN PROPERTY OF JOHN A. INGERSOLL JR. NORTH COVE ROAD OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD DATED FEBRUARY 15, 1974. SCALE 1"=20' TOWN CLERK MAP #1621
- "PROPERTY OF J. COURTNEY DODGE 184 NORTH COVE ROAD OLD SAYBROOK, CONNECTICUT" PREPARED BY COASTAL ENGINEERING & SURVEY ASSOCIATES DATED JUNE 17, 1975. SCALE 1"=10' TOWN CLERK MAP #1207
- "MAP SHOWING PROPERTIES OF J. COURTNEY & WINIFRED DODGE 184 NORTH COVE ROAD, OLD SAYBROOK, CONN." PREPARED BY COASTAL ENGINEERING & SURVEY ASSOCIATES DATED NOVEMBER 12, 1976. SCALE 1"=30' TOWN CLERK MAP #1278
- "PROPERTY MAP PROPERTY OF HENRY B. & AUDREY S. ANDERSON NORTH COVE ROAD & GROWELL PLACE, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD & ASSOCIATES, INC. DATED JUNE 6, 1978. SCALE 1"=20' TOWN CLERK MAP #1343
- "PROPERTY SURVEY PLAN LAND OF WILLIAM E. PHILLIPS NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD & ASSOCIATES, INC. DATED SEPTEMBER 11, 1996. SCALE 1"=20' (NOT ON FILE)
- "BOUNDARY SURVEY PER QUIET TITLE JUDGMENT WARDLAW VS TOWN OF OLD SAYBROOK DOCKET #CV 94-0071929 S SUPERIOR COURT FOR JUDICIAL DISTRICT OF MIDDLESEX, NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD DATED SEPTEMBER 2, 1998 REVISED THRU OCTOBER 1, 1998. SCALE 1"=20' TOWN CLERK MAP #2328
- "PROPERTY SURVEY LAND OF PATRICIA BOUILLET NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED AUGUST 14, 1997 REVISED THRU AUGUST 27, 1997. SCALE 1"=40' TOWN CLERK MAP #2373
- "PROPERTY SURVEY LAND OF STEPHEN C. EDBERG LIMITED PARTNERSHIP NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED DECEMBER 9, 1997. SCALE 1"=20' TOWN CLERK MAP #2382
- "PROPERTY SURVEY LAND OF STEPHEN C. EDBERG LIMITED PARTNERSHIP NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED DECEMBER 9, 1997. REVISED THRU MAY 13, 1999. SCALE 1"=20' TOWN CLERK MAP #2414
- "COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF STEPHEN C. EDBERG, L.P. & WILLIAM E. PHILLIPS, III NORTH COVE ROAD OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED JUNE 19, 1998. SCALE 1"=20' TOWN CLERK MAP #2401
- "IMPROVEMENT LOCATION SURVEY PROPERTY OF JOSEPH T. NOCHERA & VIRGINIA S. NOCHERA, NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED NOVEMBER 5, 1998. SCALE 1"=20' (NOT ON FILE)
- "SITE DEVELOPMENT PLAN SHOWING PROPOSED REPAIRS TO SUBSURFACE SEWAGE DISPOSAL SYSTEM KLEWIN PROPERTY, NORTH COVE ROAD OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED AUGUST 14, 1999 REVISED THRU NOVEMBER 10, 1999. SCALE 1"=20' (NOT ON FILE)
- "PROPERTY SURVEY PLAN SHOWING PROPOSED IMPROVEMENTS LAND OF RANDI J. BRADBURY & WILLIAM A. CHILDRESS, 192 NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED MARCH 13, 2002 REVISED THRU JUNE 4, 2002. SCALE 1"=20' TOWN CLERK MAP #3059
- "SITE PLAN SHOWING PROPOSED IMPROVEMENTS LAND OF PATRICIA BOUILLET RUSSELL, NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT" PREPARED BY ANGUS L. MCDONALD / GARY SHARPE & ASSOCIATES, INC. DATED JUNE 11, 2002. SCALE 1"=20' (NOT ON FILE)

201 North Cove Road

OWNER: NORTH COVE ASSOCIATES LLC
 PARCEL ADDRESS: 201 NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT 06475
 MAILING ADDRESS: 201 NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT 06475
 PARCEL ID: MAP 32 LOT 11
 DEED: VOLUME 645 PAGE 394
 LAND USE ZONE: AA-2
 AREA: 35546.80 SQ. FT. ± OR 0.82 ACRES ±
 FLOOD ZONE: ZONES X, AE (EL 10) & VE (EL 15) PER FIRM MAP COMMUNITY PANEL #09007C0361J DATED FEBRUARY 6, 2013 (SEE NOTE #6)

North Cove Road

OWNER: NORTH COVE ASSOCIATES LLC
 PARCEL ADDRESS: NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT 06475
 MAILING ADDRESS: 201 NORTH COVE ROAD, OLD SAYBROOK, CONNECTICUT 06475
 PARCEL ID: MAP 32 LOT 16
 DEED: VOLUME 645 PAGE 394
 LAND USE ZONE: AA-2
 AREA: 242.54 SQ. FT. ± OR 0.006 ACRES ±
 FLOOD ZONE: ZONE X PER FIRM MAP COMMUNITY PANEL #09007C0361J DATED FEBRUARY 6, 2013 (SEE NOTE #6)

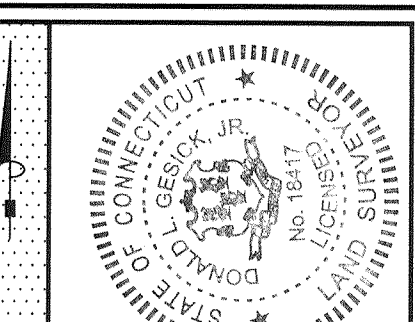
AA-2 - Zoning Requirements Table - 201 North Cove Road

Description	Zoning Requirements	Existing	Proposed
Minimum Lot Area With Public Water	20,000.00 Sq. Ft.	35,546.80 Sq. Ft.	35,546.80 Sq. Ft.
Minimum Lot Frontage At Street Line	20'	232.95'	232.95'
Minimum Setback From Street Line	35'	7.9' (House)	-
Minimum Setback (W) From Side Property Line	15'	3.7' (House)	-
Minimum Setback (E) From Side Property Line	15'	153.7' (House)	-
Minimum Setback From Rear Property Line	15'	103' ± (Deck)	-
Maximum Building / Structure Coverage	15%+*	9.8% (3493 Sq. Ft.)	-

(Maximum Building / Structure Coverage : House, Wood Decks & Steps & Concrete Walk & Steps)
 ** The Property Is Located In The Connecticut River Gateway Conservation Zone So Coverage Is 15%.

Line Data Table

Number	Direction	Distance
L1	S 78°17'21" E	16.63'
L2	S 10°47'25" W	15.00'
L3	N 77°30'49" W	15.96'
L4	N 08°11'29" E	14.81'



Copies of this survey map not bearing the Land Surveyor's Seal shall not be considered to be valid copies. Certified copies shall run only to the party for whom the survey is prepared and on behalf of the Surveyor. This map is not transferable to additional persons not listed hereon.

To the best of my knowledge and belief this map is correct as noted hereon.

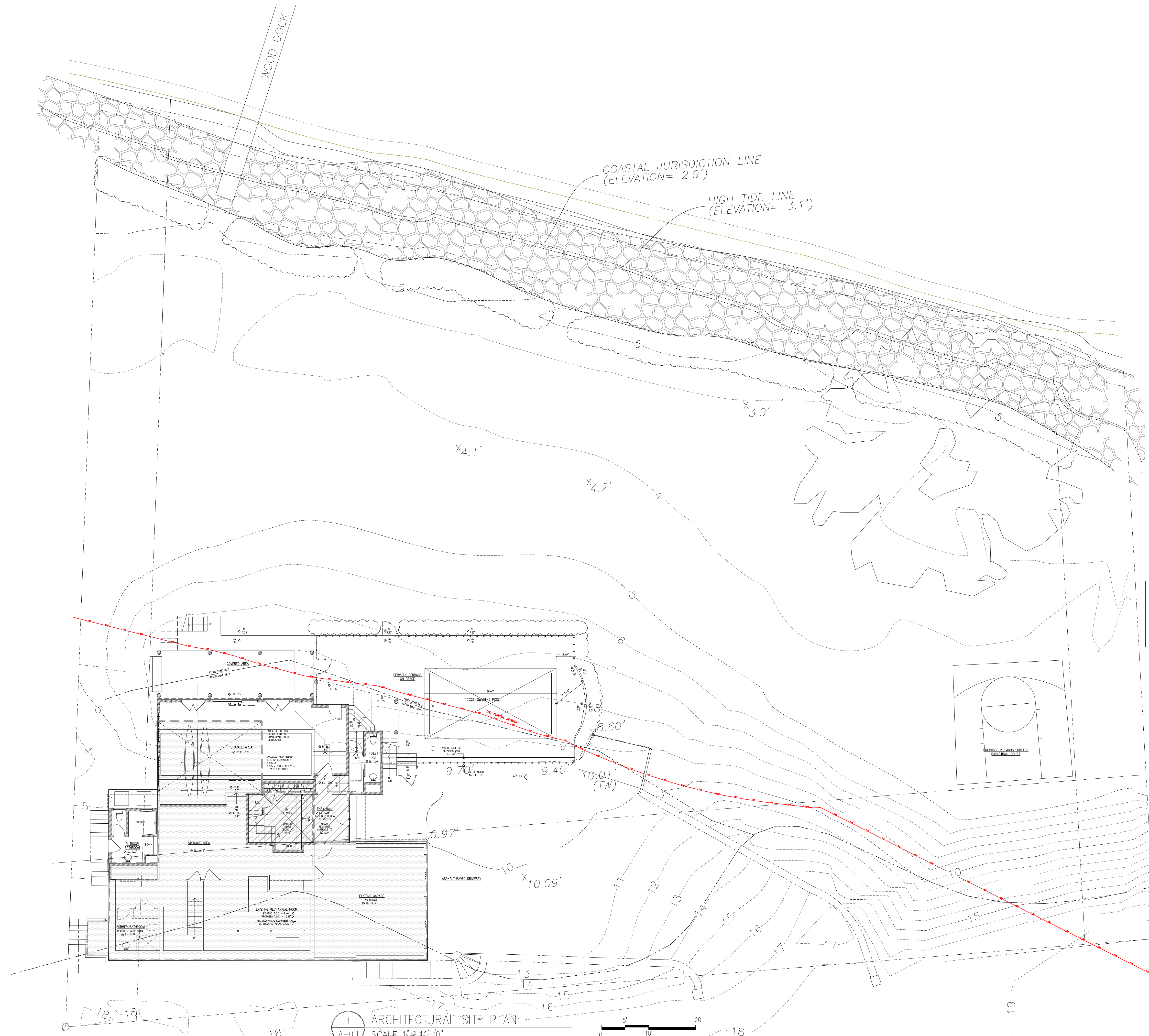
ANGUS L. MCDONALD
 REG. NO. 18417

GESICK & ASSOCIATES, P.C.
 SURVEYORS & PLANNERS
 19 CEDAR ISLAND AVE.
 CLINTON, CONNECTICUT 06413
 OFFICE: 860-669-7799 FAX: 860-669-5833
 www.gesicksurveyors.com

Zoning Location Survey
 of
 201 North Cove Road
 & North Cove Road (ID#32/16)
 Old Saybrook, Connecticut
 Prepared for
North Cove Associates LLC

Revisions

Date: January 4, 2021
 Drawing: 20-191a
 Drawn: P.H.
 Sheet: 1 of 1



ABBREVIATIONS

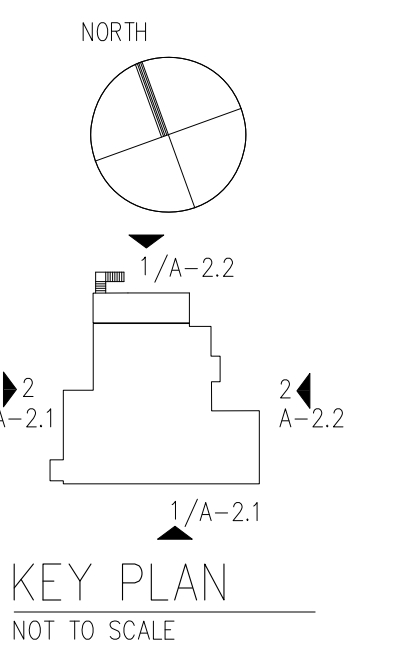
ABBR.	ABBREVIATION
B.O.	BOTTOM OF
CSBC	CT STATE BUILDING CODE
E.E./R.O.	EMERGENCY ESCAPE AND RESCUE OPENING OF THE CSBC
IRC	INTERNATIONAL RESIDENTIAL CODE PORTION OF THE CSBC
OSFPMO	OLD SAYBROOK FLOOD PLAIN MANAGEMENT ORDINANCE
P.T.	PRESSURE TREATED
TB	TECHNICAL BULLETIN
T.O.	TOP OF
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD

GROSS FLOOR AREA (GSF) TABLE

CATEGORY / FLOOR LEVEL	AREA IN GSF	
	EXISTING	PROPOSED
HABITABLE BASEMENT	2,643	0
GARAGE	602	602
FIRST FLOOR	1,788	2,692
SECOND FLOOR	1,577	2,101
TOTAL	6,610	5,395

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PRELIMINARY
FOR APPROVALS



3	...	X-XX-XX
2	...	X-XX-XX
1	...	X-XX-XX

HOUSE ADDITION & ALTERATION
 201 North Cove Road, Old Saybrook, CT

ARCHITECTURAL SITE PLAN

AS NOTED
 SCALE: 2-14-24
 DATE: 2003
 DRAWN BY: J.B.B.

A-0.1

1 ARCHITECTURAL SITE PLAN
 A-0.1 SCALE: 1/8" = 10'-0"

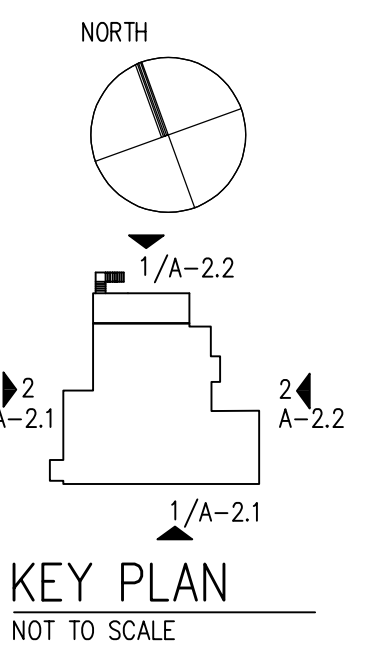


ABBREVIATIONS

ABBR.	ABBREVIATION
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T.O.	TOP OF
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VALF	VERIFY IN FIELD

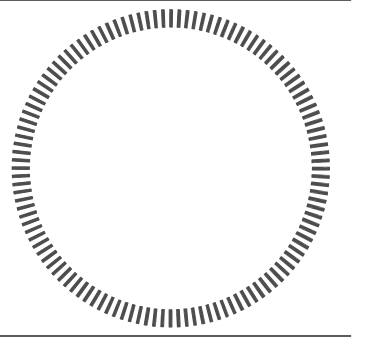
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PRELIMINARY
FOR APPROVALS



3	...	X-XX-XX
2	...	X-XX-XX
1	...	X-XX-XX

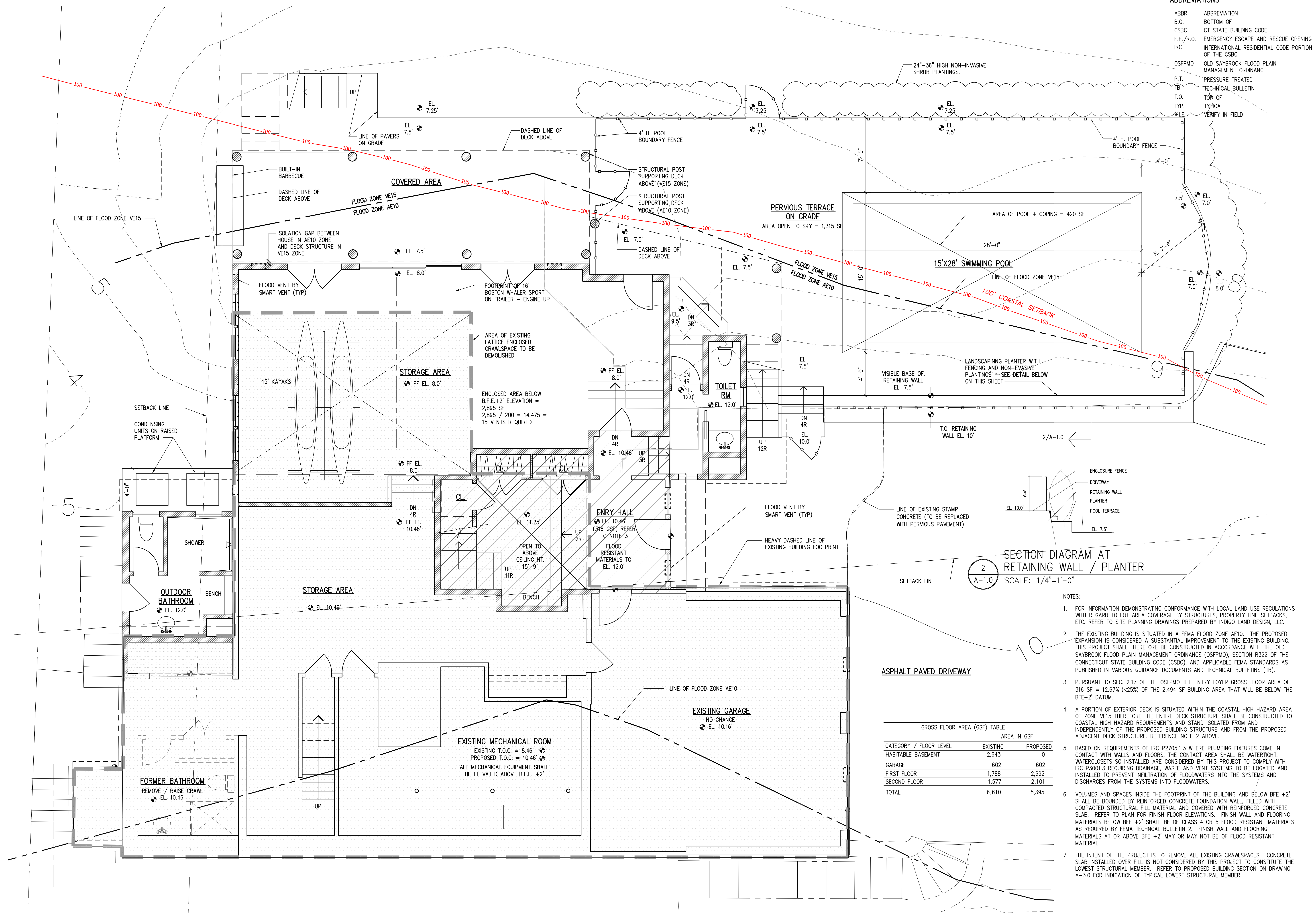
HOUSE ADDITION & ALTERATION
 201 North Cove Road, Old Saybrook, CT



BASEMENT FLOOR PLAN

AS NOTED	
SCALE	2-14-24
DATE	
JRB	20003
DRAWN BY	08 10

A-1.0



GROSS FLOOR AREA (GSF) TABLE

CATEGORY / FLOOR LEVEL	AREA IN GSF	
	EXISTING	PROPOSED
HABITABLE BASEMENT	2,643	0
GARAGE	602	602
FIRST FLOOR	1,788	2,692
SECOND FLOOR	1,577	2,101
TOTAL	6,610	5,395

- NOTES:**
- FOR INFORMATION DEMONSTRATING CONFORMANCE WITH LOCAL LAND USE REGULATIONS WITH REGARD TO LOT AREA COVERAGE BY STRUCTURES, PROPERTY LINE SETBACKS, ETC. REFER TO SITE PLANNING DRAWINGS PREPARED BY INDIGO LAND DESIGN, LLC.
 - THE EXISTING BUILDING IS SITUATED IN A FEMA FLOOD ZONE AE10. THE PROPOSED EXPANSION IS CONSIDERED A SUBSTANTIAL IMPROVEMENT TO THE EXISTING BUILDING. THIS PROJECT SHALL THEREFORE BE CONSTRUCTED IN ACCORDANCE WITH THE OLD SAYBROOK FLOOD PLAIN MANAGEMENT ORDINANCE (OSFPMO), SECTION R322 OF THE CONNECTICUT STATE BUILDING CODE (CSBC), AND APPLICABLE FEMA STANDARDS AS PUBLISHED IN VARIOUS GUIDANCE DOCUMENTS AND TECHNICAL BULLETINS (TB).
 - PURSUANT TO SEC. 2.17 OF THE OSFPMO THE ENTRY FOYER GROSS FLOOR AREA OF 316 SF = 12.67% (<25%) OF THE 2,494 SF BUILDING AREA THAT WILL BE BELOW THE BFE+2' DATUM.
 - A PORTION OF EXTERIOR DECK IS SITUATED WITHIN THE COASTAL HIGH HAZARD AREA OF ZONE VE15 THEREFORE THE ENTIRE DECK STRUCTURE SHALL BE CONSTRUCTED TO COASTAL HIGH HAZARD REQUIREMENTS AND STAND ISOLATED FROM AND INDEPENDENTLY OF THE PROPOSED BUILDING STRUCTURE AND FROM THE PROPOSED ADJACENT DECK STRUCTURE. REFERENCE NOTE 2 ABOVE.
 - BASED ON REQUIREMENTS OF IRC P2705.1.3 WHERE PLUMBING FIXTURES COME IN CONTACT WITH WALLS AND FLOORS, THE CONTACT AREA SHALL BE WATER-TIGHT. WATERCLOSETS SO INSTALLED ARE CONSIDERED BY THIS PROJECT TO COMPLY WITH IRC P3001.3 REQUIRING DRAINAGE, WASTE AND VENT SYSTEMS TO BE LOCATED AND INSTALLED TO PREVENT INFILTRATION OF FLOODWATERS INTO THE SYSTEMS AND DISCHARGES FROM THE SYSTEMS INTO FLOODWATERS.
 - VOLUMES AND SPACES INSIDE THE FOOTPRINT OF THE BUILDING AND BELOW BFE +2' SHALL BE BOUNDED BY REINFORCED CONCRETE FOUNDATION WALL, FILLED WITH COMPACTED STRUCTURAL FILL MATERIAL AND COVERED WITH REINFORCED CONCRETE SLAB. REFER TO PLAN FOR FINISH FLOOR ELEVATIONS. FINISH WALL AND FLOORING MATERIALS BELOW BFE +2' SHALL BE OF CLASS 4 OR 5 FLOOD RESISTANT MATERIALS AS REQUIRED BY FEMA TECHNICAL BULLETIN 2. FINISH WALL AND FLOORING MATERIALS AT OR ABOVE BFE +2' MAY OR MAY NOT BE OF FLOOD RESISTANT MATERIAL.
 - THE INTENT OF THE PROJECT IS TO REMOVE ALL EXISTING GRAMSPACES. CONCRETE SLAB INSTALLED OVER FILL IS NOT CONSIDERED BY THIS PROJECT TO CONSTITUTE THE LOWEST STRUCTURAL MEMBER. REFER TO PROPOSED BUILDING SECTION ON DRAWING A-3.0 FOR INDICATION OF TYPICAL LOWEST STRUCTURAL MEMBER.

1 BASEMENT FLOOR PLAN
 A-1.0 SCALE: 1/4"=1'-0"

GROSS FLOOR AREA (GSF) TABLE		
AREA IN GSF		
CATEGORY / FLOOR LEVEL	EXISTING	PROPOSED
HABITABLE BASEMENT	2,643	0
GARAGE	602	602
FIRST FLOOR	1,788	2,692
SECOND FLOOR	1,577	2,101
TOTAL	6,610	5,395

NOTES:

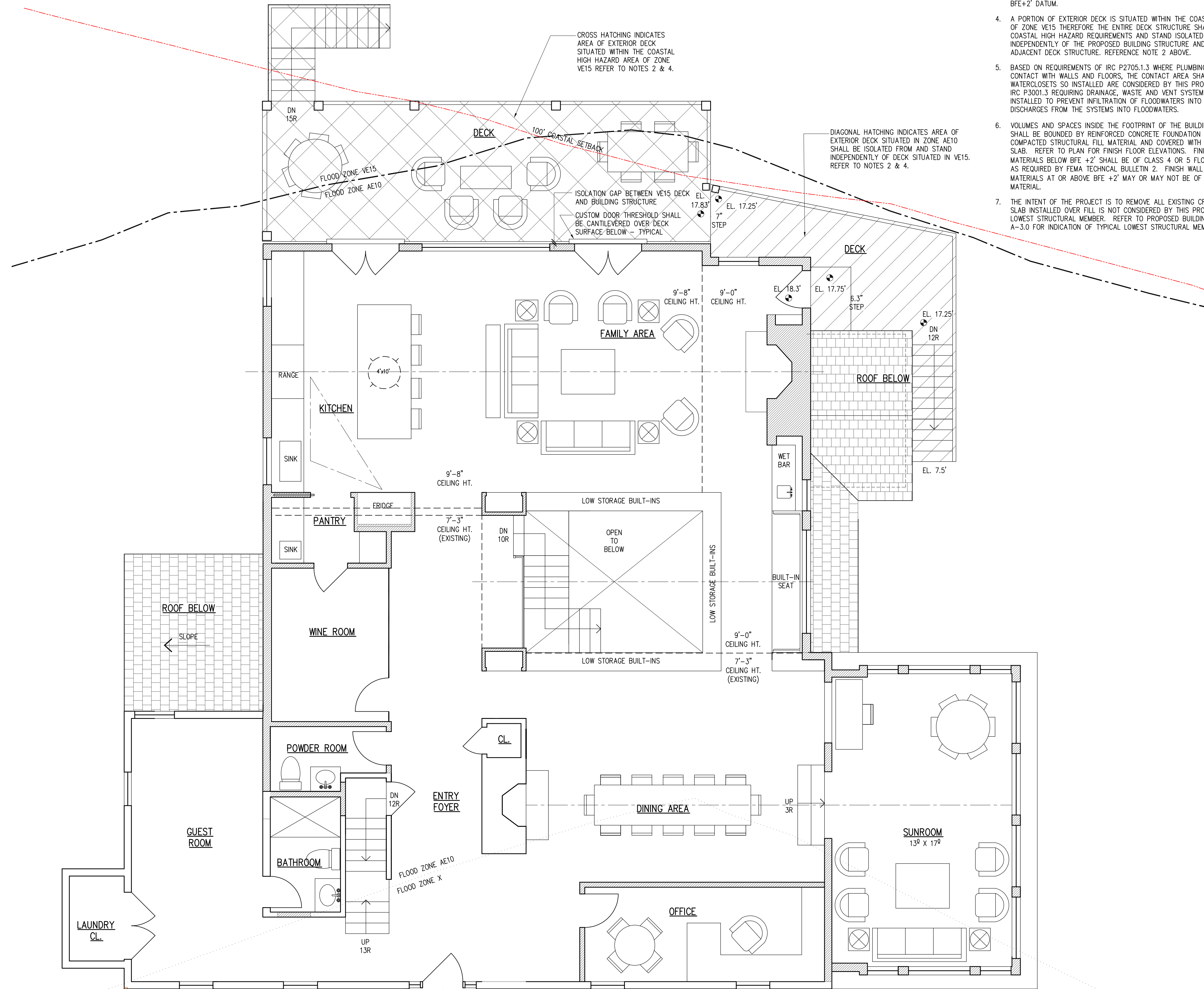
- FOR INFORMATION DEMONSTRATING CONFORMANCE WITH LOCAL LAND USE REGULATIONS WITH REGARD TO LOT AREA COVERAGE BY STRUCTURES, PROPERTY LINE SETBACKS, ETC. REFER TO SITE PLANNING DRAWINGS PREPARED BY INDIGO LAND DESIGN, LLC.
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ABBREVIATIONS

ABBR.	ABBREVIATION
B.O.	BOTTOM OF
CSBC	CT STATE BUILDING CODE
E.E./R.O.	EMERGENCY ESCAPE AND RESCUE OPENING OF THE CSBC
IRC	INTERNATIONAL RESIDENTIAL CODE PORTION OF THE CSBC
OSFPMO	OLD SAYBROOK FLOOD PLAN MANAGEMENT ORDINANCE
P.T.	PRESSURE TREATED
TB	TECHNICAL BULLETIN
T.O.	TOP OF
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD

CONSTRUCTION LEGEND

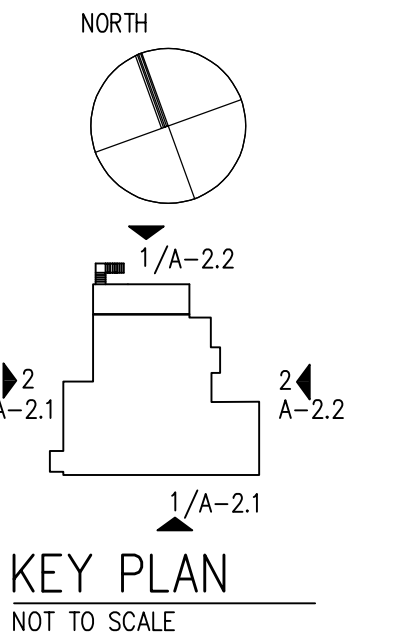
	NEW FRAME CONSTRUCTION
	NEW CONCRETE CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED



1 FIRST FLOOR PLAN
A-1.1 SCALE: 1/4"=1'-0"

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PRELIMINARY
FOR
APPROVALS



	3	...	X-XX-XX
	2	...	X-XX-XX
	1	...	X-XX-XX

HOUSE ADDITION & ALTERATION
201 North Cove Road, Old Saybrook, CT

FIRST FLOOR PLAN

AS NOTED
SCALE
1-10-24
DATE
JRB
DRAWN BY
20003
JOB NO.

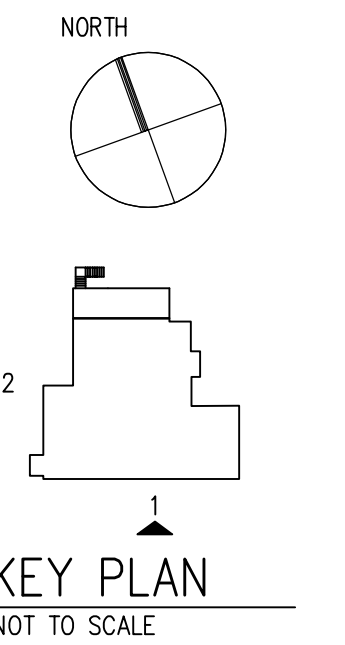
A-1.1

ABBREVIATIONS

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CSBC	CT STATE BUILDING CODE
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PRELIMINARY
 FOR APPROVALS



3	...	X-XX-XX
2	...	X-XX-XX
1	...	X-XX-XX

HOUSE ADDITION & ALTERATION
 201 North Cove Road, Old Saybrook, CT

BUILDING ELEVATIONS

AS NOTED
 SCALE: 2-14-24
 DATE: 2003
 DRAWN BY: JRB
 CHECK BY: JRB

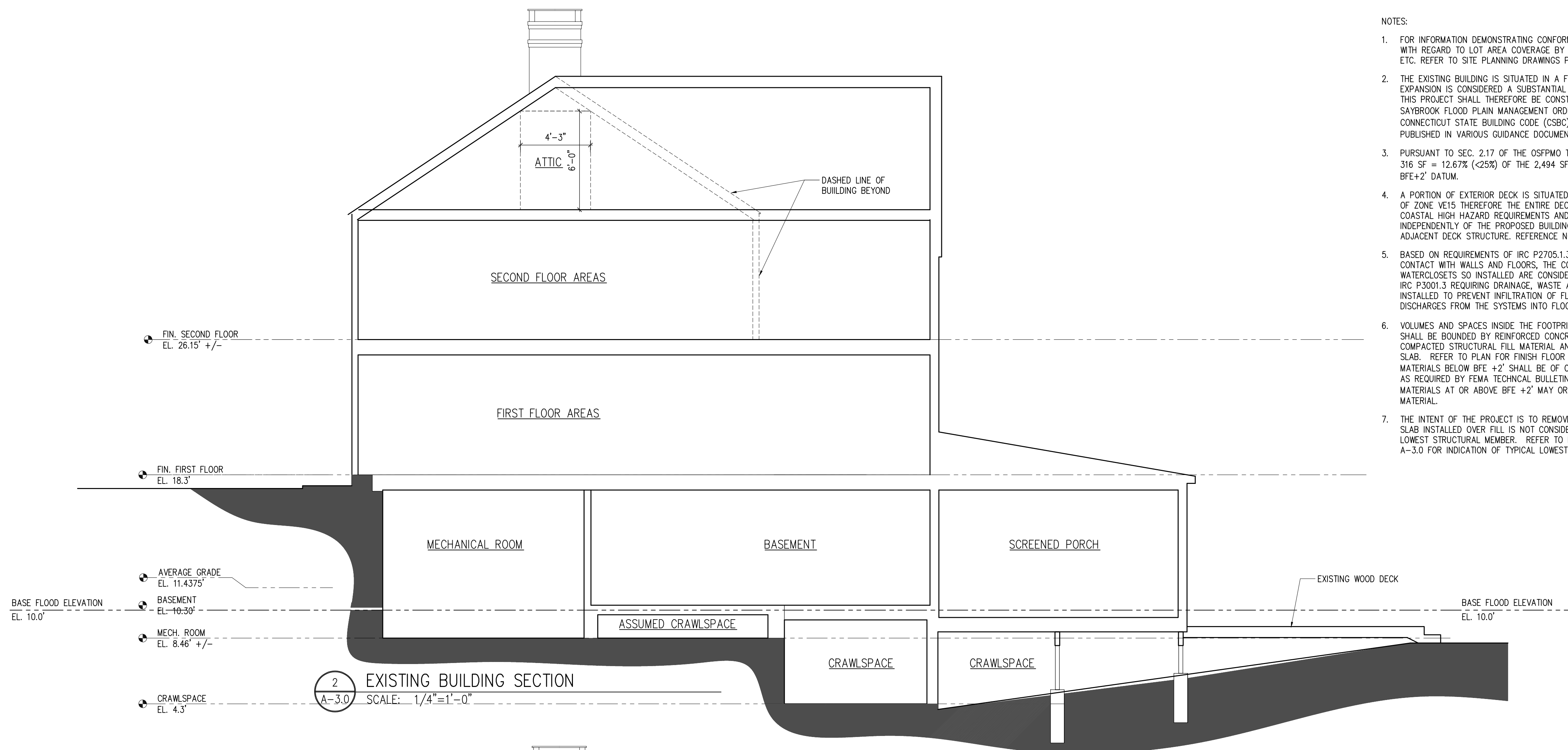
A-2.1



1 BUILDING ELEVATION (SOUTH)
 SCALE: 1/4"=1'-0"



2 BUILDING ELEVATION (WEST)
 SCALE: 1/4"=1'-0"



NOTES:

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ABBREVIATIONS

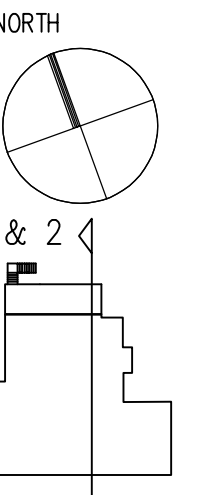
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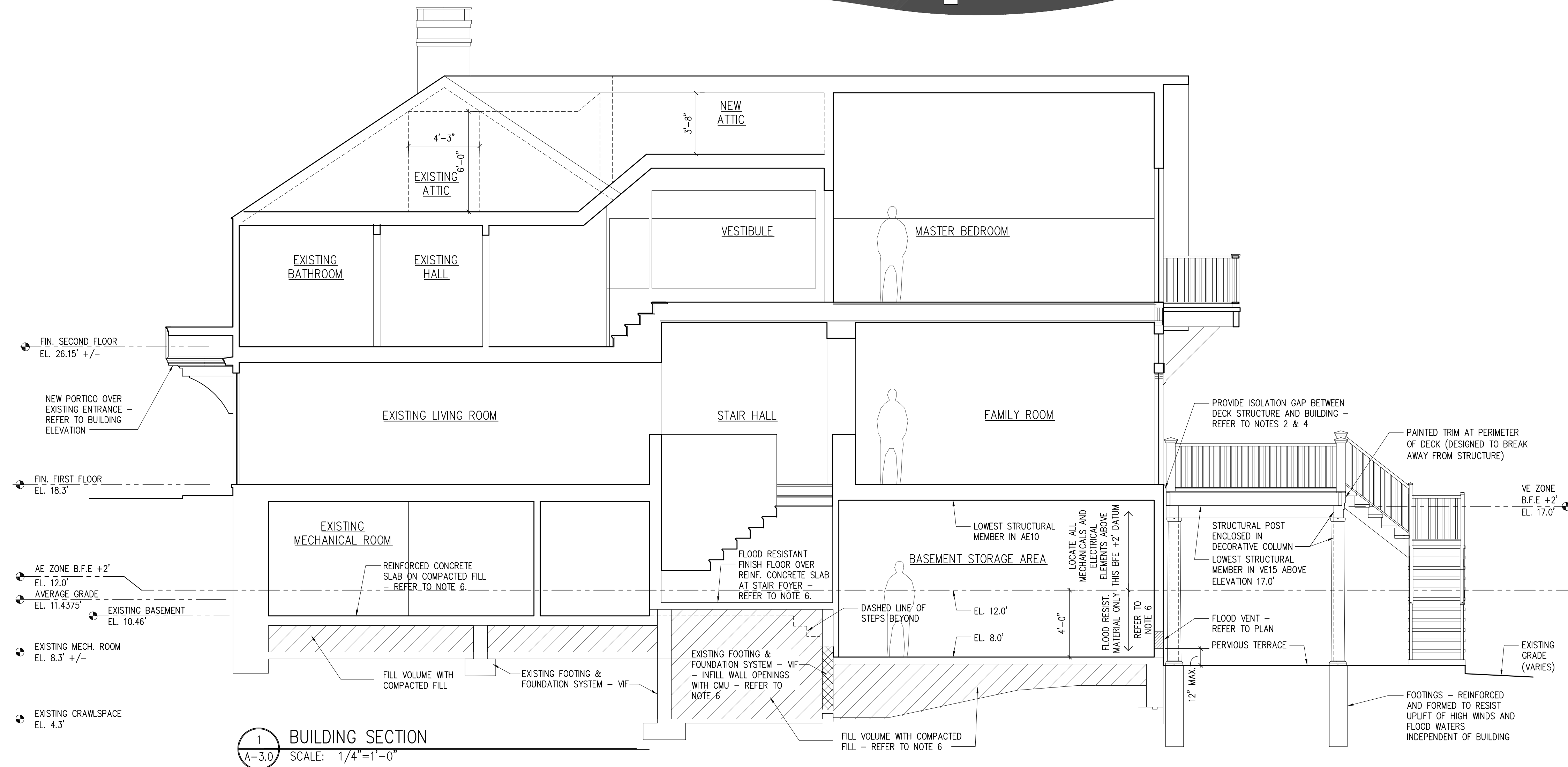
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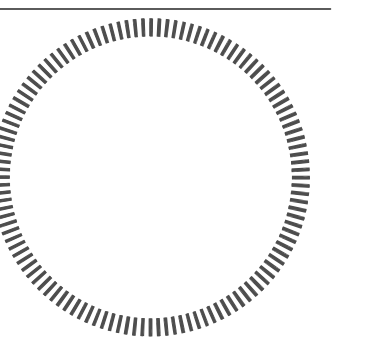


KEY PLAN
NOT TO SCALE

3	...	X-XX-XX
2	...	X-XX-XX
1	...	X-XX-XX



HOUSE ADDITION & ALTERATION
201 North Cove Road, Old Saybrook, CT



BUILDING SECTIONS

AS NOTED
SCALE: 2-14-24
DATE: 2003
JOB: 2003
DRAWN BY: JRB

A-3.0

CATEGORY / FLOOR LEVEL	AREA IN GSF	
	EXISTING	PROPOSED
HABITABLE BASEMENT	2,643	0
GARAGE	602	602
FIRST FLOOR	1,788	2,692
SECOND FLOOR	1,577	2,101
TOTAL	6,610	5,395

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T.O.	TOP OF
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD

CONSTRUCTION LEGEND

	NEW FRAME CONSTRUCTION
	NEW CONCRETE CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED

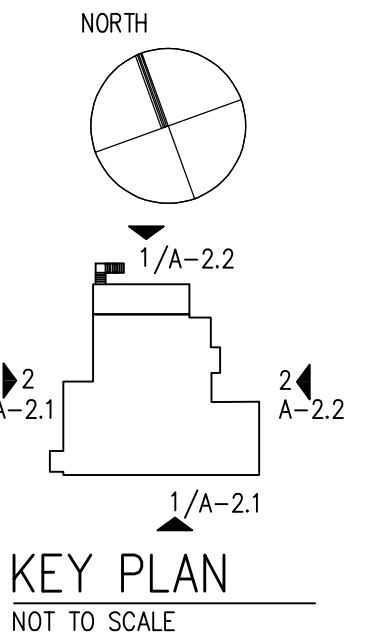


1 SECOND FLOOR PLAN
A-1.2 SCALE: 1/4"=1'-0"

DASHED LINE OF 235 GSF ATTIC AREA CONTAINING HEIGHT THAT MEASURES 6 FEET OR GREATER ABOVE JOISTS.
235 / 2,101 (SECOND FLOOR GSF) = 11%
THE AREA IS NOT ACCESSED BY A PERMANENT STAIR AND DOES NOT SUPPORT HABITABLE SPACE AS DEFINED IN THE CT STATE BUILDING CODE.

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PRELIMINARY
FOR APPROVALS



	3	...	X-XX-XX
	2	...	X-XX-XX
	1	...	X-XX-XX

HOUSE ADDITION & ALTERATION
201 North Cove Road, Old Saybrook, CT

SECOND FLOOR PLAN

AS NOTED
SCALE
2-14-24
DATE
J.B.B. 20003
DRAWN BY
OR 10

A-1.2



1 BUILDING ELEVATION (NORTH)
A-2.2 SCALE: 1/4"=1'-0"



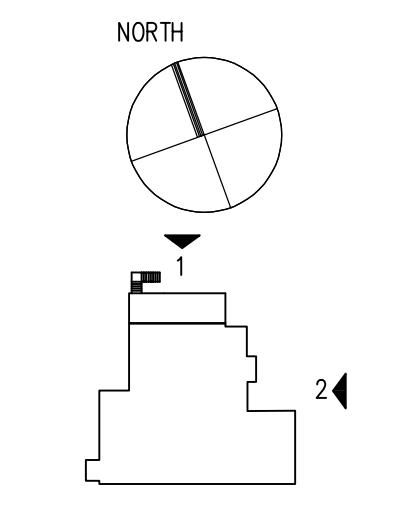
2 BUILDING ELEVATION (EAST)
A-2.2 SCALE: 1/4"=1'-0"

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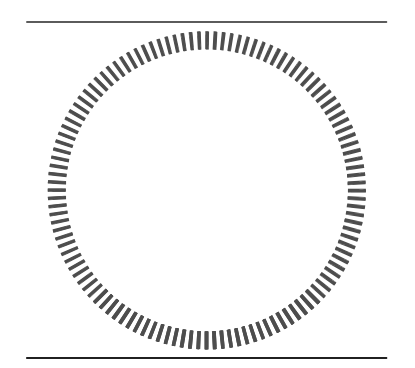
PRELIMINARY
 FOR APPROVALS



KEY PLAN
NOT TO SCALE

3	...	X-XX-XX
2	...	X-XX-XX
1	...	X-XX-XX

HOUSE ADDITION & ALTERATION
 201 North Cove Road, Old Saybrook, CT



BUILDING ELEVATIONS

AS NOTED
 SCALE: 2-14-24
 DATE: 20003
 DRAWN BY: JRB
 CHECK BY: JRB

A-2.2