

**Request for Information**  
**Public/Security Wi-Fi – Various Town of Old Saybrook Facilities**  
**April 26, 2022**

**General Information and Purpose:**

The Town of Old Saybrook desires to provide the public with access to the internet at various public facilities throughout the Town. Internet access serves as a critical connection between the public, town citizens, their community, and the world. Providing access to the internet at various public facilities will further help enhance our quality of life and reinforce the Town's commitment to a connected community.

The purpose of this Request for Information (RFI) is to acquire information regarding the potential for the Town of Old Saybrook (the "Town") to enter into an agreement with a vendor to provide the installation, and potentially management, and maintenance of a wireless Wi-Fi Internet access solution at various Town locations. It is our understanding that the delivery of public internet has been achieved through various methods including public/private partnerships, public owned, and privately owned and we are interested in exploring all such opportunities.

The purpose of this Wi-Fi installation is two-fold: Establishing public Wi-Fi accessibility and to provide adequate functionality and capacity to extend the Town's existing municipal surveillance capabilities to include any chosen locations via remote access to IP cameras. The existing system is based upon the Milestone XProtect platform and is currently managed by a 3<sup>rd</sup> party support partner (Horizon Technologies).

The Town of Old Saybrook will use the information received from this RFI to conduct a preliminary review and evaluation of the available technical services. Depending on the projected scope of selected services, the Town may utilize the information gathered as well as existing documentation and knowledge to directly procure all or a subset of the desired services or may prepare a Request for Proposals. Vendors responding to the RFI will be notified of any related future RFP.

**Locations:**

The following locations have been identified as candidates for this project. Note that all, some, or none may ultimately be selected as locations for implementation ([Click HERE for locations detail](#)):

1. Town Hall and Parks & Recreation Center
2. Town Green
3. Town Beach
4. Harvey's Beach
5. Saybrook Point (Mini Golf, Vicky Duffey Pavilion, Monument Park)
6. Kavanagh (Saybrook Acres) Park
7. Main St Park
8. Clark Community Park
9. Maple Avenue Play Field
10. Potential additional locations:
  - Town docks and anchorages
  - School athletic fields and playgrounds

**Implementation:**

The Town is soliciting information for a range of potential solutions from fully vendor implemented, managed and supported, to vendor implemented and Town managed.

**Desired Requirements:**

1. Internet access shall not be delivered through the Town of Old Saybrook's existing network.
2. Equipment shall be provided by and maintained by the vendor.
3. Troubleshooting and customer service shall be handled by the vendor.
4. Vendor may charge a fee for premium internet access.
5. The implementation must provide the public with limited internet access that will be sufficient to send and receive email, browse and view websites, and conduct basic internet activities.
6. Vendor will be allowed access to the facilities for the purposes of installing and maintaining equipment.
7. Vendor may utilize power and space within the facilities but will not be responsible for costs associated with delivering power to the equipment's location and for modifications to spaces where the equipment will be located. All work must be performed by a licensed professional.
8. Vendor's network shall be self-healing and be capable of restoring itself in the event of a disruption of internet service.
9. Vendor's equipment and network shall be scalable and shall be scaled to meet the needs of the respective facility.

**Timeframe:**

The Town of Old Saybrook desires to deliver initial implementations prior to summer 2022.

**Content of Response:**

Please focus your response on your ability to meet our Desired Requirements. The Town of Old Saybrook is also requesting information on:

1. Company Background, including a summary of previous experience in similar types of projects
2. Any proposed product information, technical information, wireless technologies, etc., that would assist us in preparing an RFP, including any options or ideas that we may not have considered.
3. Proposed Cost information you can provide, including examples of possible revenue sharing mechanisms.
4. Issues and Concerns. Provide information regarding any potential issues or concerns that should be considered.

E-mail responses are preferred. Please respond by providing the requested information as well as the name of your company, its location, a contact person, phone number and email address.

A response does not bind or obligate the responder or the Town of Old Saybrook to any agreement of provision or procurement of products or services rendered.

A hybrid (Zoom and in-person) information and question and answer session will be conducted at 11:00 AM on Friday May 5, 2022, with follow-on site visits for in-person participants if requested.

Any questions answered by the Town via phone, electronic mail or in-person will be posted on the Town web site as part of the RFI listing.

Please respond to this RFI by **May 18, 2022**. If you require any additional information for this RFI, please contact Larry Hayden, Director of Information Technology.

Larry Hayden  
Director, Information Technology  
Town of Old Saybrook  
302 Main St.  
Old Saybrook, CT 06475

Email: [Larry.Hayden@OldSaybrookCT.gov](mailto:Larry.Hayden@OldSaybrookCT.gov)  
Phone: (860) 510-5000

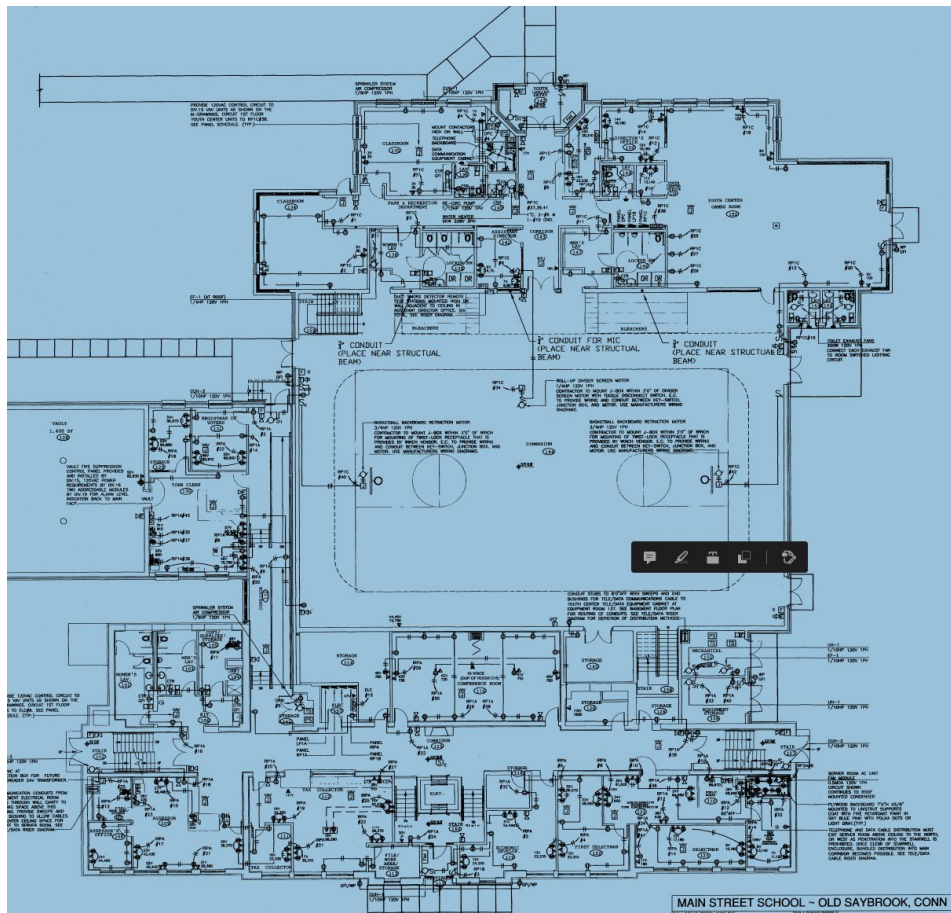
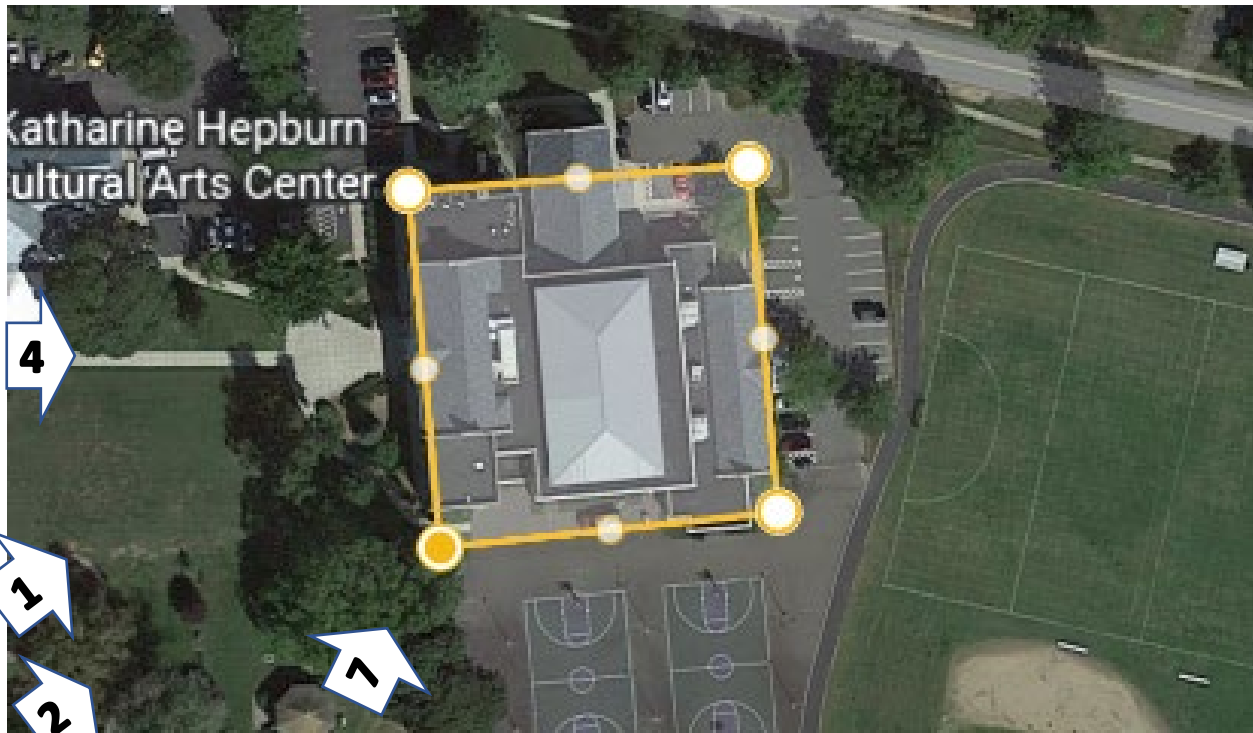
# Town Hall and Parks & Recreation Center

302 Main St

41.290302, -72.374501

175 x 175 x 175 x 175 - 30,625 sq. ft. (Detailed floorplans to be published on web site)

Occupancy: 200





# Town Green

302 Main St

41.290141, -72.375366

275 x 275 x 275 x 275 - 75,625 sq. ft.

Occupancy: 500





**View 1**



**View 2**





**View 3**



**View 4**





**View 5**



**View 6**





**View 7**



**View 8**





**View 9**



# Town Beach

Plum Bank Road

41.269101, -72.392748

200 x 200 x 200 x 200 - 40,000 sq ft

Occupancy: 500





**View 10**



**View 11**





View 12



# Harvey's Beach

Plum Bank Rd

41.274075, -72.394746

300 x 300 x 300 x 300 - 90,000 sq ft

Occupancy: 600





**View 13**



**View 14**





View 15



View 16





## Saybrook Point (Mini Golf, Vicki Duffey Pavilion, Monument Park)

155 College St

41.284765, -72.350259

800 x 100 x 600 x 300 x 400 - 237,000 sq ft

Occupancy: 500





**View 17**



**View 18**





**View 19**



**View 20**





**View 21**



**View 22**





**View 23**



**View 24**





**View 25**



**View 26**





# Kavanagh (Saybrook Acres) Park

5 Trask Rd

41.284761, -72.384510

500 x 250 x 450 x 400 – 145,500 sq ft

Occupancy: 200





**View 27**



**View 28**





**View 29**





# Main St Park

255 Main St

41.290366, -72.377034

600 x 300 x 225 x 150 x 425 x 100 - ~124,000 sq ft

Occupancy: 200





**View 30**



**View 31**





## Town (Clark Community) Park

170 Schoolhouse Rd

41.299270, -72.415005

700 x 300 x 700 x 300 - 210,000 sq ft

Occupancy: 200





**View 32**



**View 33**





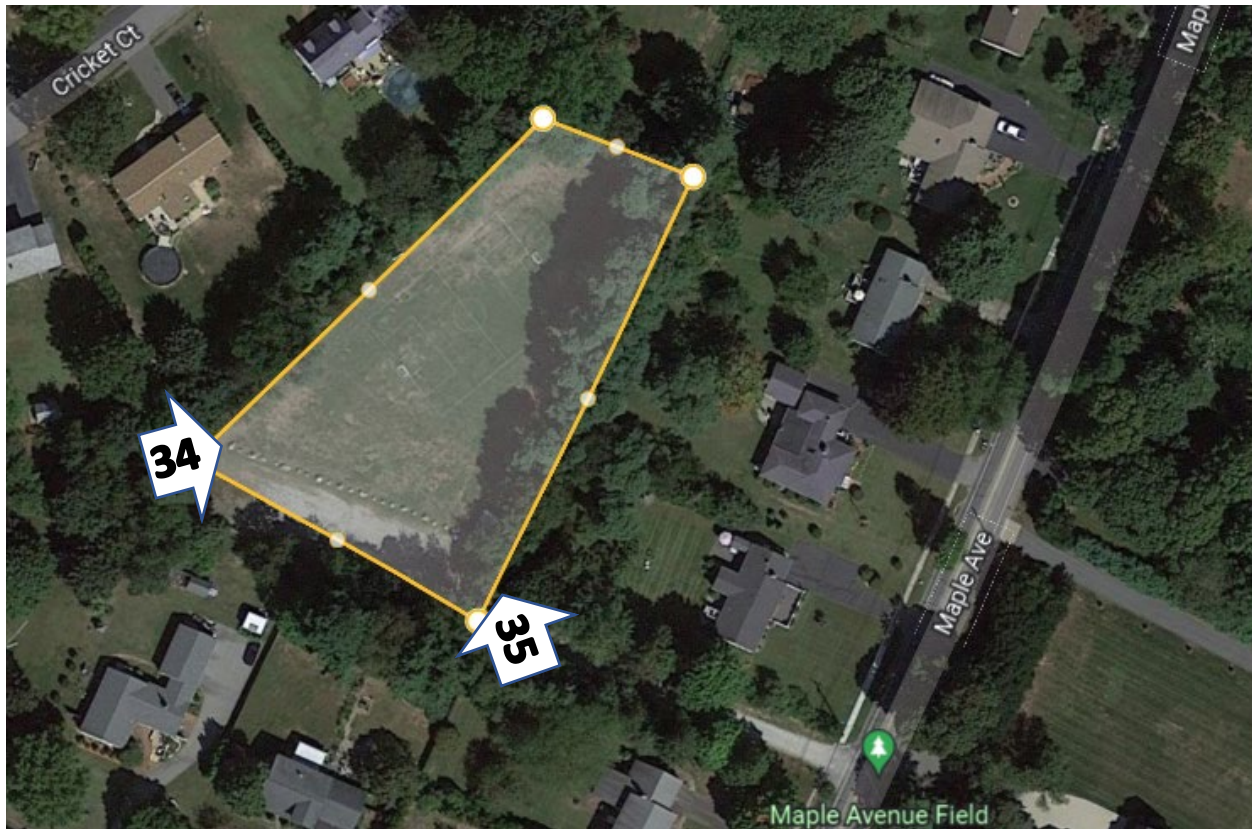
# Maple Ave Play Field

105 Maple Ave

41.277300, -72.376622

300 x 100 x 300 x 200 - 44,000 sq ft

Occupancy: 100





**View 34**



**View 35**







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## WiFi RFI Inquiry Response - April 29, 2022

RFI Inquiry Responses - April 29, 2022

1. Will the IP cameras continue to be managed by Horizon Technologies?

Yes.

2. Is there a requirement for indoor Wi-Fi at any of the locations?

Yes.

Location 1, Town Hall and Parks & Recreation Center, is for interior public wi-fi within those buildings.

Location 5, Saybrook Point, includes wi-fi availability within the Vicky Duffey Pavilion.

3. Does the provided occupancy represent the number of users on average or during peak times, (i.e. festivals)?

Estimated capacity at peak times.

4. If trenching is required to run cabling outdoor, will the city contractor perform it, or will it be the Vendor's responsibility?

To be determined depending upon the location and the implementation. Submissions should call out trenching requirements within the design which will be factored in to the analysis. Responsibility for trenching will be negotiated with the selected vendor.

5. If trenching the Vendor's responsibility, will the Town provide/assist with obtaining the necessary permits?

Depending upon trenching location. All sites are Town owned property. Permits for trenching within a site will be assisted by the Town. Potential pole to property access from public utilities will be negotiated with the selected vendor.

6. Will content filtering be required?

No.

7. What is the expected term of the contract?

Open. Not decided at this time. Depending upon the proposed services, vendor investment in necessary equipment/infrastructure may dictate contract length for a viable contract.

**Source URL:** <https://www.oldsaybrookct.gov/jobs-bids-and-rfps/pages/wifi-rfi-inquiry-response-april-29-2022>



## Responses to Inquiries – May 5, 2022

- 1) Corrected Date for Vendor Q&A Meeting: Friday, May 6 @ 11:00 EST
- 2) Power Sources (various). ***Refer to following sheets.***
- 3) Utility poles in Town beach parking lot? ***None currently.***
- 4) Seamless roaming across Saybrook Point sub-sites? ***Desired, not required.***
- 5) Rec Center, number of floors and catwalks? ***The Rec Center offices are a single, ground floor, site. The gymnasium is on the ground floor with an upper-level walking track. There is a raised indoor track (refer to pictures in following sheets). However, there are not catwalks “in the rafters”.***



# Town Hall and Parks & Recreation Center

302 Main St

41.290302, -72.374501

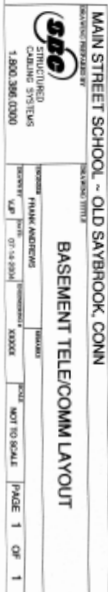
175 x 175 x 175 x 175 - 30,625 sq. ft. (Detailed floorplans to be published on web site)

Occupancy: 200





8  
100' BASMENT POWER PLAN  
100' 10' 10'



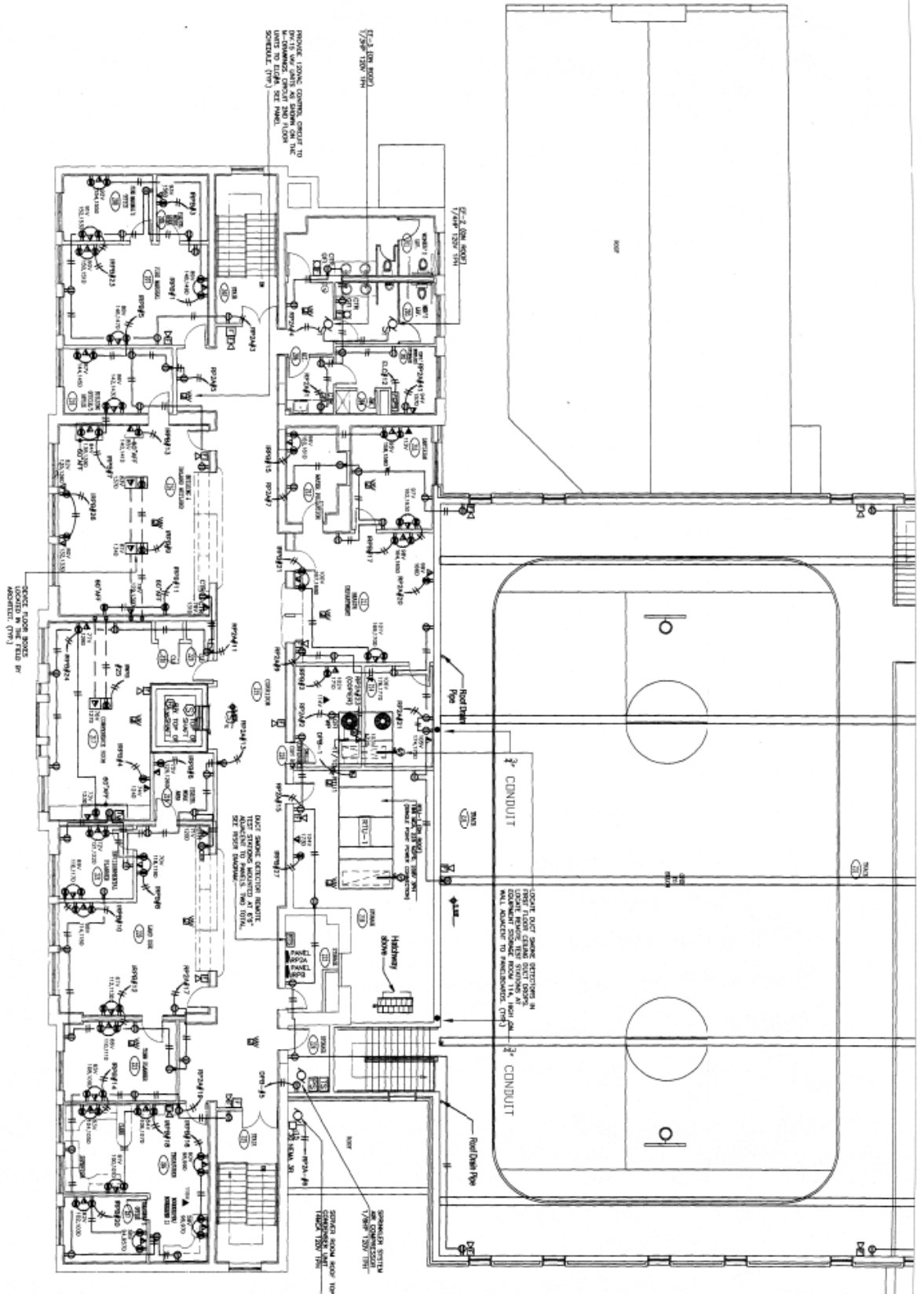


## GENERAL





# Town Hall / Rec Center – 2<sup>nd</sup> Floor



MAIN STREET SCHOOL ~ OLD SAYBROOK, CONN  
 SECOND FLOOR TELECOMM LAYOUT  
 SGC SYMBOLS, EDITION 1/2000



**View 36**



**View 37**





View 38



View 39





**View 40**



**View 41**





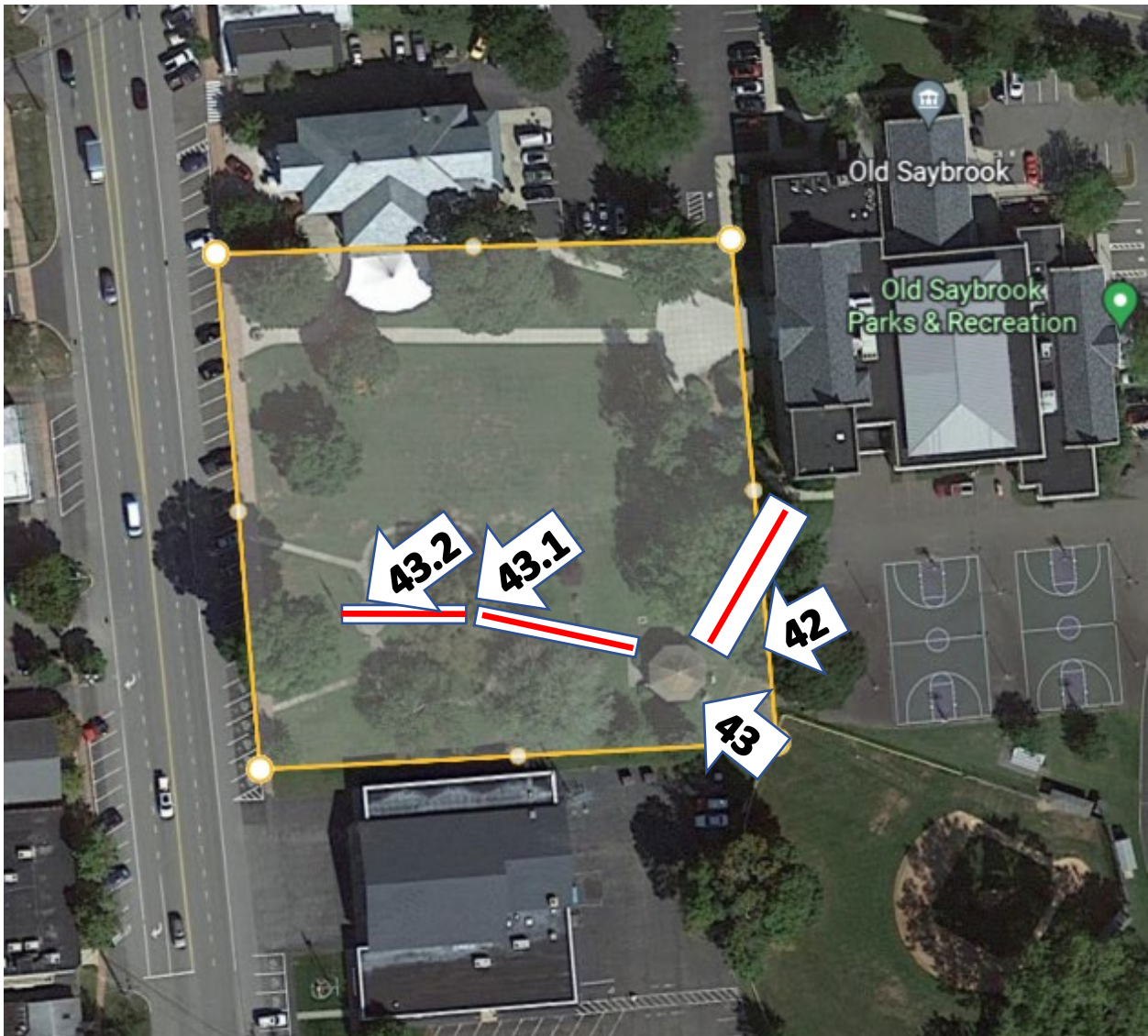
# Town Green

302 Main St

41.290141, -72.375366

275 x 275 x 275 x 275 - 75,625 sq. ft.

Occupancy: 500



Three existing conduits from Town Hall to Gazebo Power Panel

1. **Electrical Power**
2. **Electrical Power**
3. Empty

Conduit and service outlets for possible reconfiguration

View 43.1 – Monument

View 43.2 – Flag Poles

Electrical service available from buildings on north, east and west of the Green.



**View 42**



**View 43**





**View 43.1**



**View 43.2**





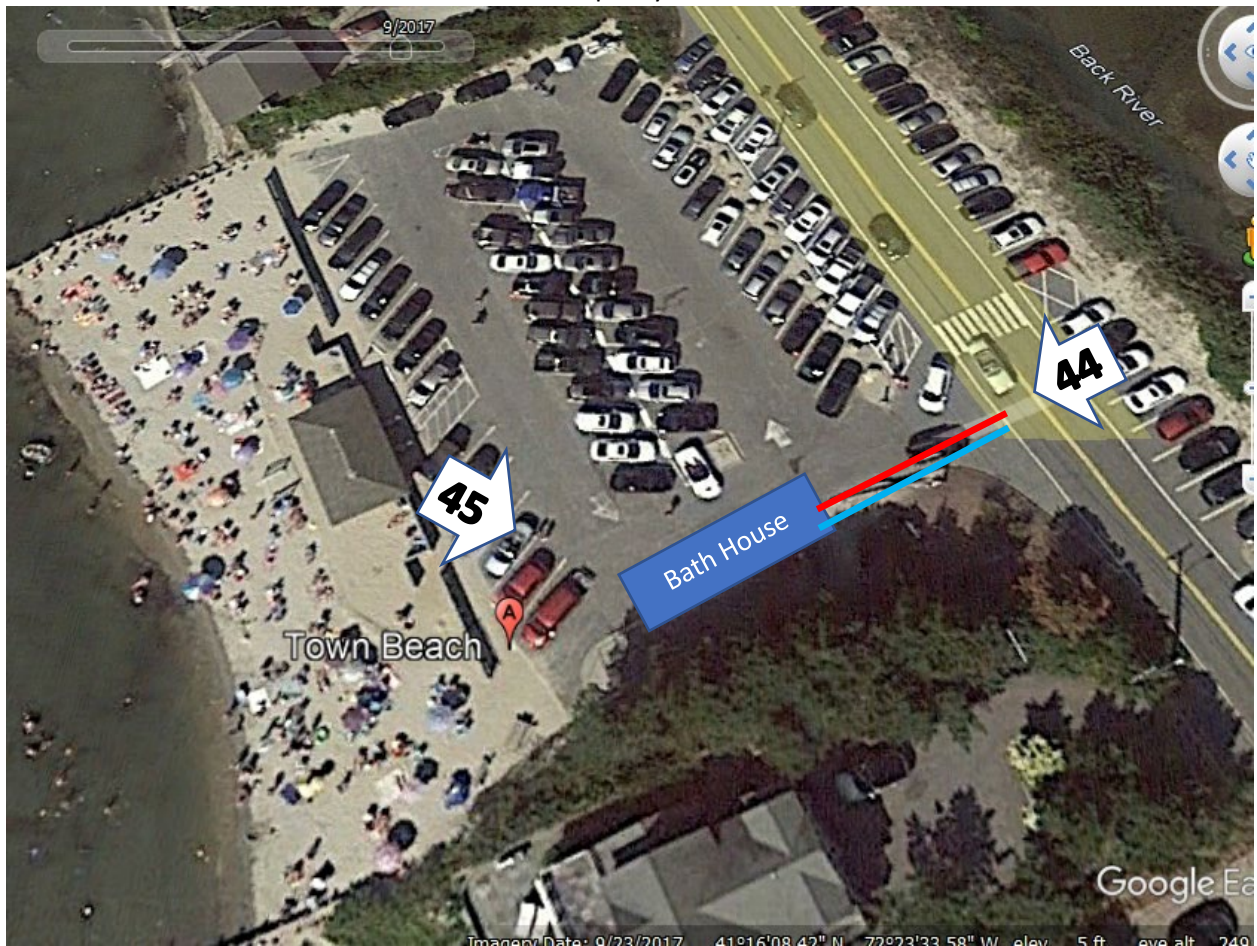
# Town Beach

Plum Bank Road

41.269101, -72.392748

200 x 200 x 200 x 200 - 40,000 sq ft

Occupancy: 500



No existing conduit on site

View 45 - Electrical and phone services provided to Bath House by overhead lines.

Bath house has power throughout the building.



**View 44**



**View 45**





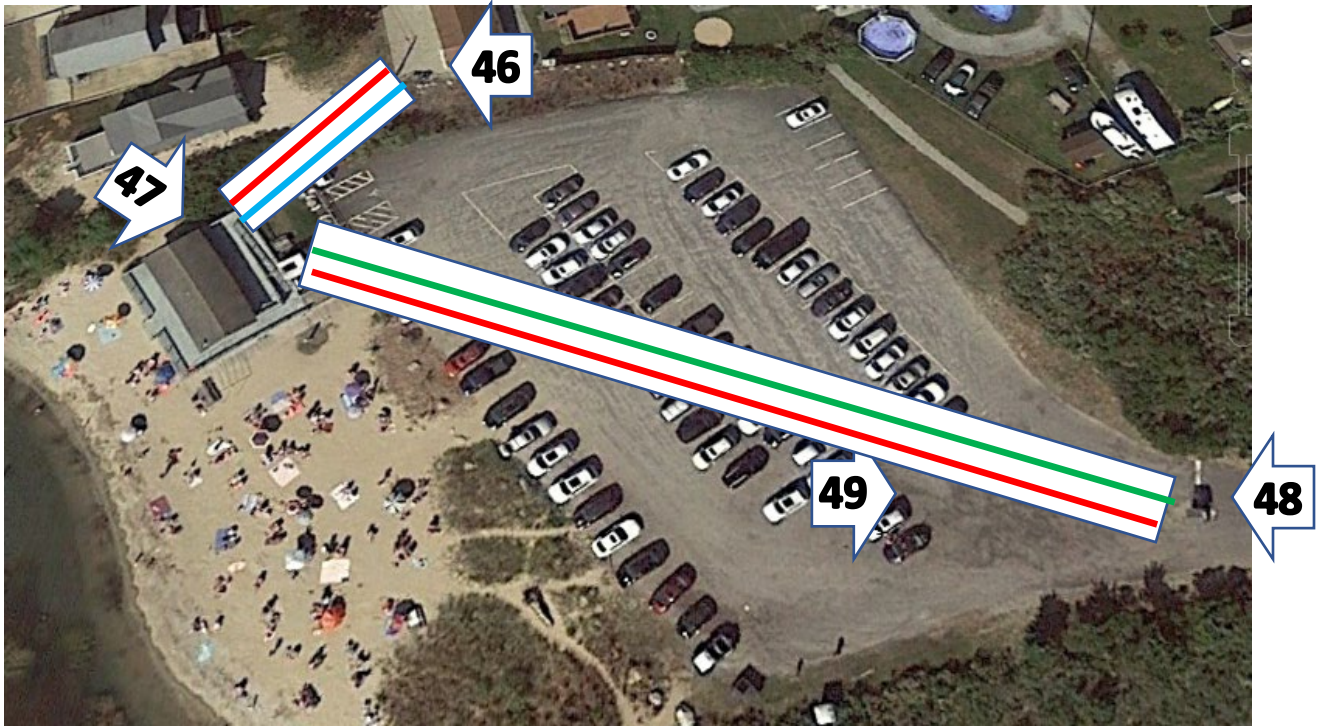
# Harvey's Beach

Plum Bank Rd

41.274075, -72.394746

300 x 300 x 300 x 300 - 90,000 sq ft

Occupancy: 600



Three existing conduits from the Utility Pole (#13) to the Beach House (#14)

1. **Electrical Power**
2. Telephone
3. Empty

Three existing conduits from Beach House (#14) to the Gate House (#15)

1. **Electrical Power**
2. Ethernet Cat5 Cables (5)
3. Empty



**View 46**



**View 47**





View 48



View 49





# Saybrook Point (Mini Golf, Vicki Duffey Pavilion, Monument Park)

155 College St

41.284765, -72.350259

800 x 100 x 600 x 300 x 400 - 237,000 sq ft

Occupancy: 500





## Mini – Golf

Three existing conduits from Mini Golf Clubhouse to the Large Shed

1. **Electrical Power**
2. **Ethernet Cat5 Cables (3)**

## Monument Park

Electrical Service

- View 51 – Temporary service could transition to permanent
- View 52 – “Fort” service panel has available capacity
- View 53 – Monument Park entrance outlet could be reconfigured
- View 54 – Main Parking Sign service could be reconfigured

**View 50**





**View 51**



**View 52**





View 53



View 54





# Kavanagh (Saybrook Acres) Park

5 Trask Rd

41.284761, -72.384510

500 x 250 x 450 x 400 – 145,500 sq ft

Occupancy: 200

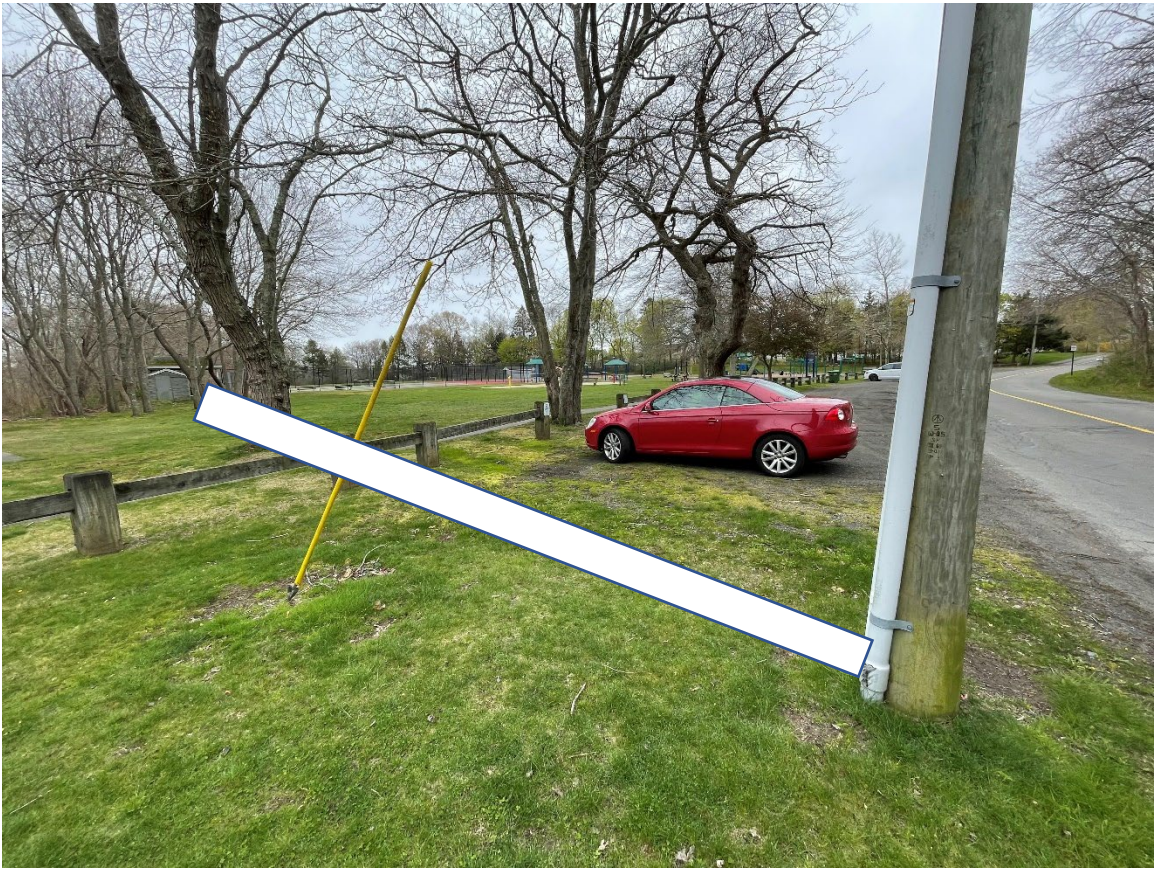


Three existing conduits from utility pole to splashpad pump house

1. **Electrical Power**
2. Empty
3. Empty



**View 55**



**View 56**





**View 57**



**View 58**





# Main St Park

255 Main St

41.290366, -72.377034

600 x 300 x 225 x 150 x 425 x 100 - ~124,000 sq ft

Occupancy: 200



View 59 – Electrical Service available at main park distribution panel

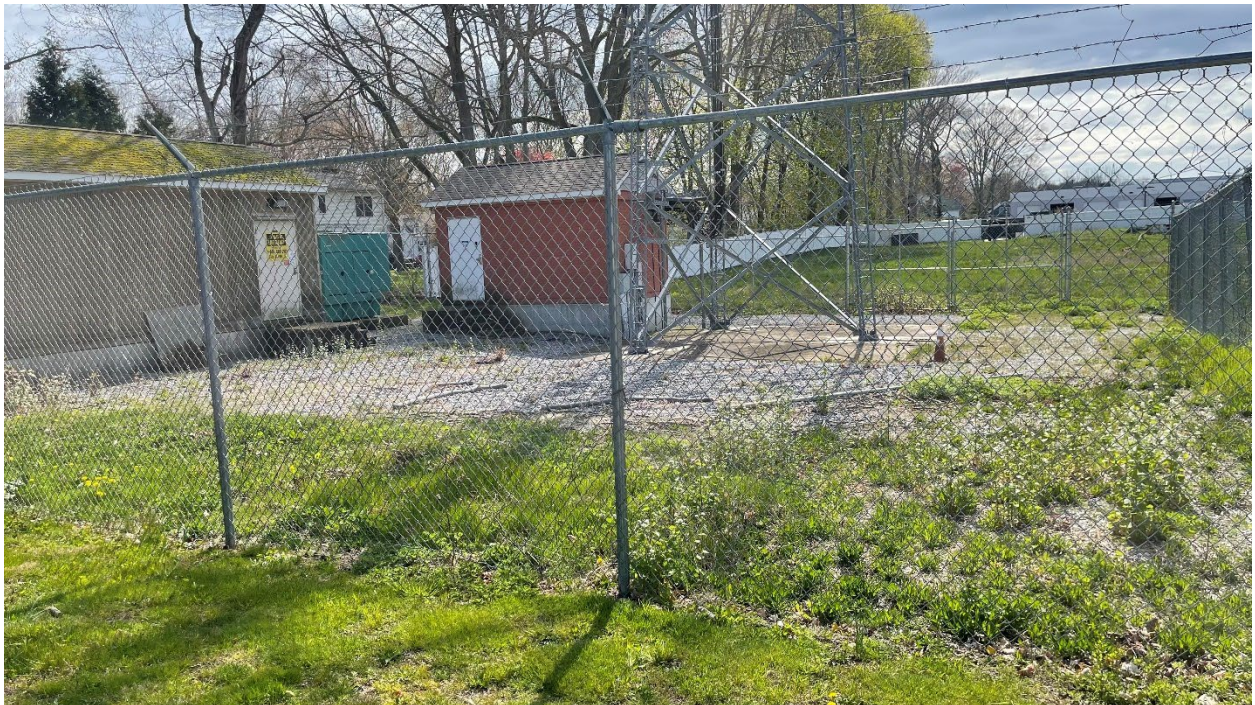
View 60 – Electrical Service and emergency operations antenna tower



**View 59**



**View 60**





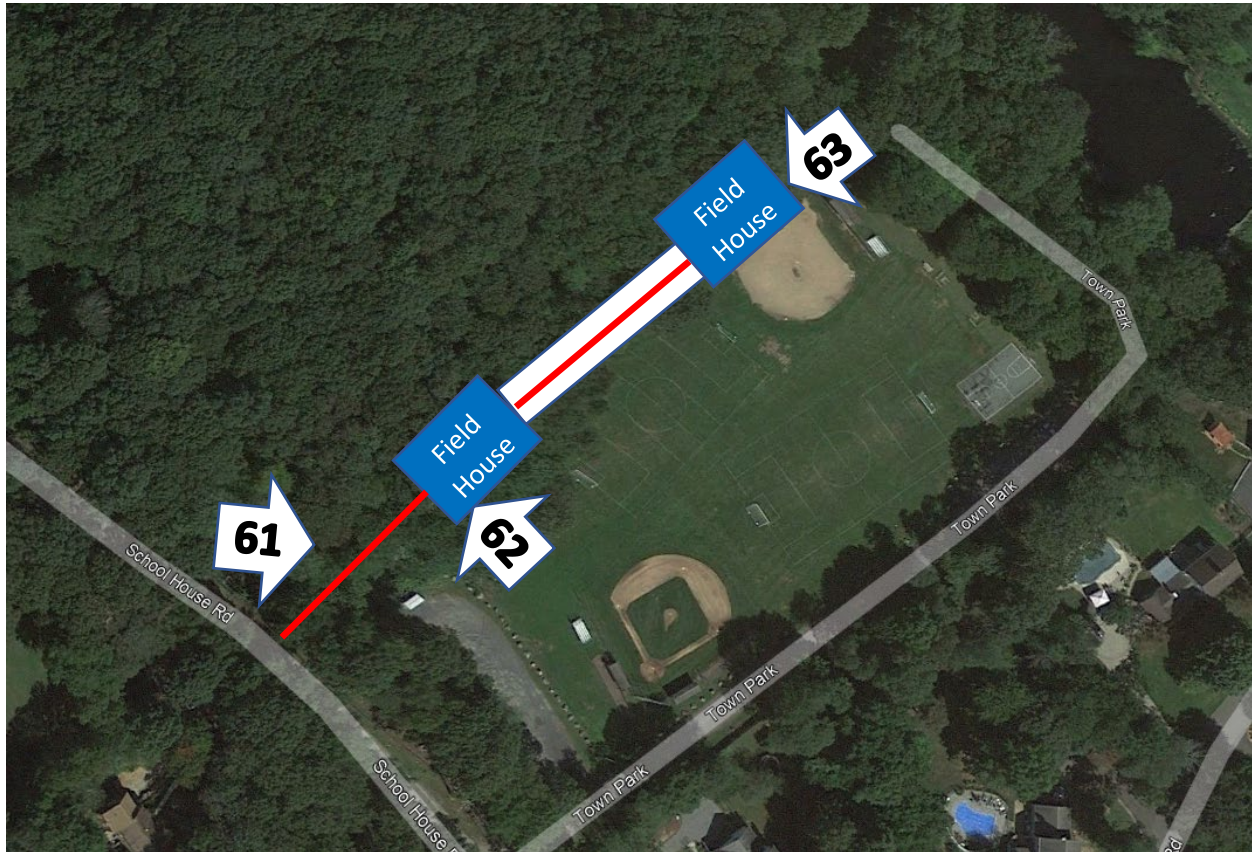
# Town (Clark Community) Park

170 Schoolhouse Rd

41.299270, -72.415005

700 x 300 x 700 x 300 - 210,000 sq ft

Occupancy: 200



Electrical supplied to Field House #1 via overhead wires.

One existing conduit from Field House #1 to Field House #2.

## 1. Electrical Power

View 62 – Electrical service available at Field House #1

View 63 – Electrical service available at Field House #2



**View 61**



**View 62**





**View 63**





# Maple Ave Play Field

105 Maple Ave

41.277300, -72.376622

300 x 100 x 300 x 200 - 44,000 sq ft

Occupancy: 100



One existing conduit from Utility Pole to Field Shed.

1. Empty

View 64 – Conduit at utility pole

View 65 – Service box at Field Shed



**View 64**



**View 65**







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[Home](#) > Question and Answer Session - May 6, 2022

## Question and Answer Session - May 6, 2022

Hybrid Meeting Question and Answer Session - May 6, 2022

1) Question related to the security camera selection and potential bandwidth requirements.

During the meeting it was noted that the cameras likely to be deployed should be considered to be a generic HD PTZ cameras. While correct, this answer is incomplete and potentially misleading.

It is anticipated that each site where surveillance is implemented will be supported by a local, on-site, DVR system. It is not the intent to have IP cameras stream back to a central site over the supporting WAN. Access to local video will be via remotely connecting to the DVR system, and will occur on an "as operationally required" basis. This is not projected to be supporting 24/7/52 live monitoring.

Site wired/wireless/mesh LANs should be capable of supporting multiple IP cameras typically operating at 1080 or 4K at 5fps.

**Source URL:** <https://www.oldsaybrookct.gov/jobs-bids-and-rfps/pages/question-and-answer-session-may-6-2022>





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[Home](#) > Responses to Inquiries – May 9, 2022

## Responses to Inquiries – May 9, 2022

Responses to Inquiries – May 9, 2022

*1) In order to provide proper coverage and density of the solution, additional poles will need to be installed at some locations. Will the Town be able to provide and install additional poles assuming there are no issues with the desired location?*

Answer... Maybe.

Example: Town an Harvey's Beaches. While we could electrify the gazebo and set up a pole in that vicinity to potentially get full beach coverage from the center, it might be "good enough" to cover 2/3 of the beach if that coverage could be accomplished by an access point mounted on the existing bath house. The requirement for full wi-fi coverage in the parking lot might be dropped. Phase 2 might include installation of a pole on the opposite side of the beach to support surveillance equipment and better wi-fi coverage.

As part of the RFI we would like to be able to assess the projected wi-fi coverage areas provided by the recommended devices and potentially adjust our site requirements.

**Source URL:** <https://www.oldsaybrookct.gov/jobs-bids-and-rfps/pages/responses-inquiries-%E2%80%93-may-9-2022>