



Consulting Engineers, P.C.

130 ELM STREET  
POST OFFICE BOX 802  
OLD SAYBROOK  
CONNECTICUT 06475  
PHONE: 860 388 1224  
FAX: 860 388 4613  
GNCBENGINEERS.COM

3	Construction Documents for Bid	10/1/18
No.	DESCRIPTION	DATE
ISSUED DRAWINGS		

NOTES:

**CONTRACTOR TO SUBMIT  
CERTIFICATIONS FOR ALL  
WORKERS ON SITE FOR  
COMPLETED  
2-DAY ONSITE TRAINING  
WITH CATHEDRAL STONE  
PRODUCTS**

KATHARINE HEPBURN  
CULTURAL ARTS  
CENTER

300 MAIN STREET  
OLD SAYBROOK, CT

BID SET

PORTICO CONCRETE  
CONDITION & REPAIRS  
AND GENERAL NOTES

SCALE:	As indicated
PROJECT NUMBER:	17207
DATE:	09/01/2018
DRAWN BY:	JJS
CHECKED BY:	AJ / JFN

S1.1

- GENERAL PROJECT NOTES**
- 2016 STATE OF CONNECTICUT STATE BUILDING CODE AND SUPPLEMENT.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING TO MAINTAIN THE STABILITY, SAFETY, AND LATERAL LOAD RESISTANCE OF THE BUILDING AND ITS INDIVIDUAL COMPONENTS THROUGHOUT CONSTRUCTION.
  - FOR RENOVATIONS AND ADDITIONS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
  - DO NOT SCALE DRAWINGS TO OBTAIN INFORMATION.

STAIR REPAIR SCHEDULE		
LOCATION	NORTH SIDE	SOUTH SIDE
RISER 2	100% x 2" DEEP	20% x 2" DEEP
RISER 3	20% x 2" DEEP	20% x 2" DEEP
RISER 4	50% x 2" DEEP	25% x 2" DEEP
RISER 5	10% x 2" DEEP	10% x 2" DEEP
TREAD 5	-	10% x 2" DEEP
RISER 7	80% x 2" DEEP	30% x 2" DEEP
RISER 8	10% x 2" DEEP	25% x 2" DEEP
RISER 9	10% x 2" DEEP	-
RISER 10	-	10% x 2" DEEP
RISER 11	-	20% x 2" DEEP
TREAD 11	-	10% x 2" DEEP
RISER 12 / UPPER SLAB	100% x 2" DEEP	100% x 2" DEEP

NOTES:

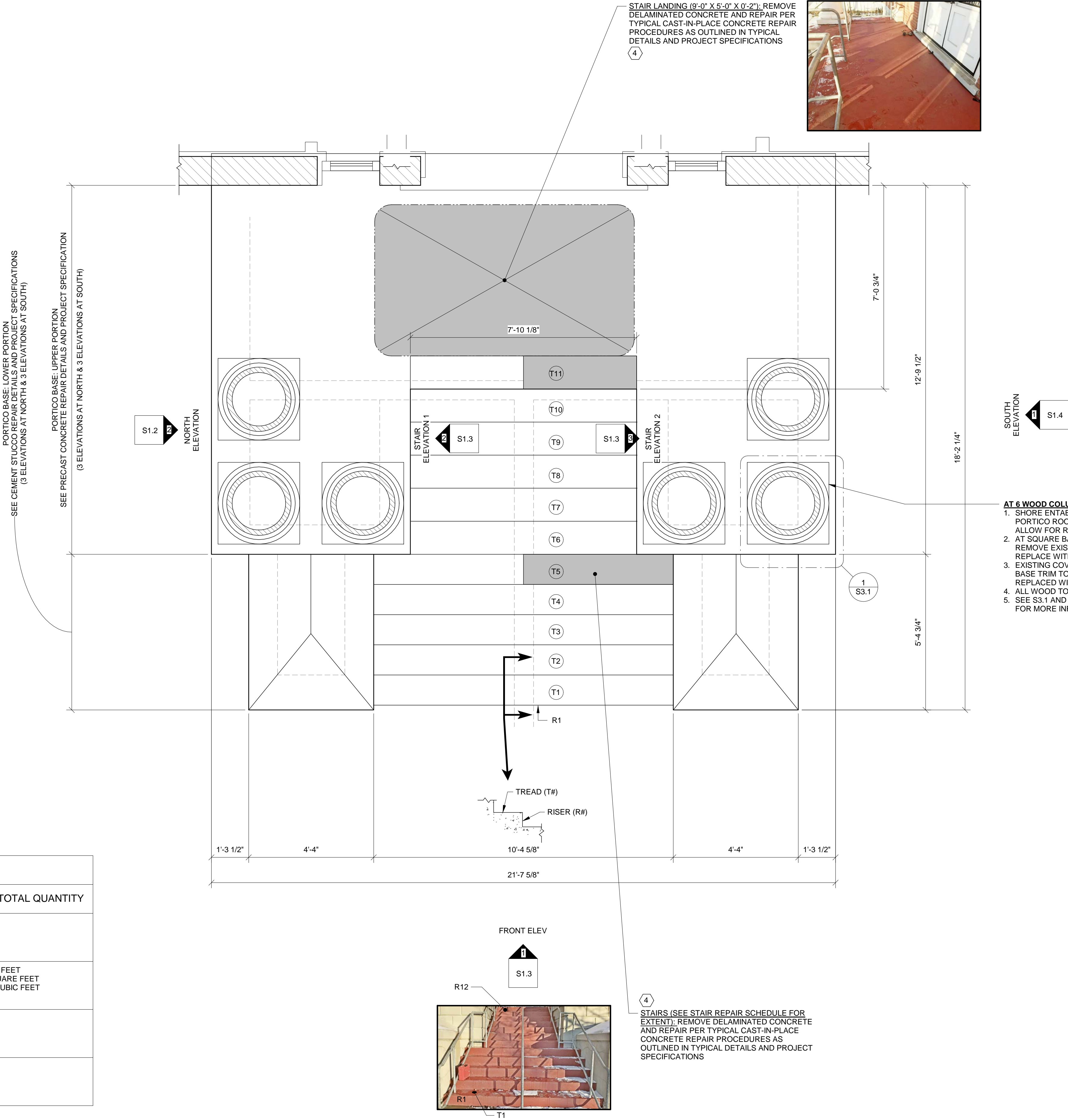
- SEE TYPICAL CONCRETE REPAIR DETAILS AND PROJECT SPECIFICATIONS FOR MORE INFORMATION
- PERCENT IS APPROXIMATE AMOUNT OF SURFACE AREA REQUIRING REPAIR

SCHEDULE OF CEMENTITIOUS REPAIRS		
SYMBOL	DESCRIPTION	APPROXIMATE TOTAL QUANTITY
1	PRECAST CONCRETE AT UPPER PORTION OF PORTICO BASE: REFER TO S2.1 TYPICAL CONCRETE DETAILS AND PROJECT SPECIFICATIONS. 100% OF SURFACE TO BE REMOVED AT DELAMINATED UNITS.	7.5 CUBIC FEET
2	CEMENT STUCCO REPAIR AT LOWER PORTION OF PORTICO BASE: REMOVE ALL EXISTING STUCCO/PLASTER LAYERS, INCLUDING WIRE MESH, REPOINT, AND INSTALL NEW STUCCO PER PROJECT SPECIFICATIONS. NEW STUCCO TO REPLICATE ORIGINAL RUSTICATION PATTERN.	REMOVAL: 10 CUBIC FEET REPOINTING: 80 SQUARE FEET NEW STUCCO:13.5 CUBIC FEET
3	CAST-IN-PLACE CONCRETE SLAB EDGE REPAIR: REFER TO S2.1 TYPICAL CONCRETE DETAILS AND PROJECT SPECIFICATIONS.	3.5 CUBIC FEET
4	CAST-IN-PLACE CONCRETE SLAB & STAIRS: REFER TO S2.1 TYPICAL CONCRETE DETAILS AND PROJECT SPECIFICATIONS. EXISTING PAINT TO BE REMOVED VIA SAND-BLASTING PRIOR TO SOUNDING	17 CUBIC FEET

NOTES:

- SEE TYPICAL CONCRETE REPAIR DETAILS AND PROJECT SPECIFICATIONS FOR MORE INFORMATION
- SEE S3.1 FOR WOOD REPAIRS

1 PORTICO PLAN  
1/2" = 1'-0"









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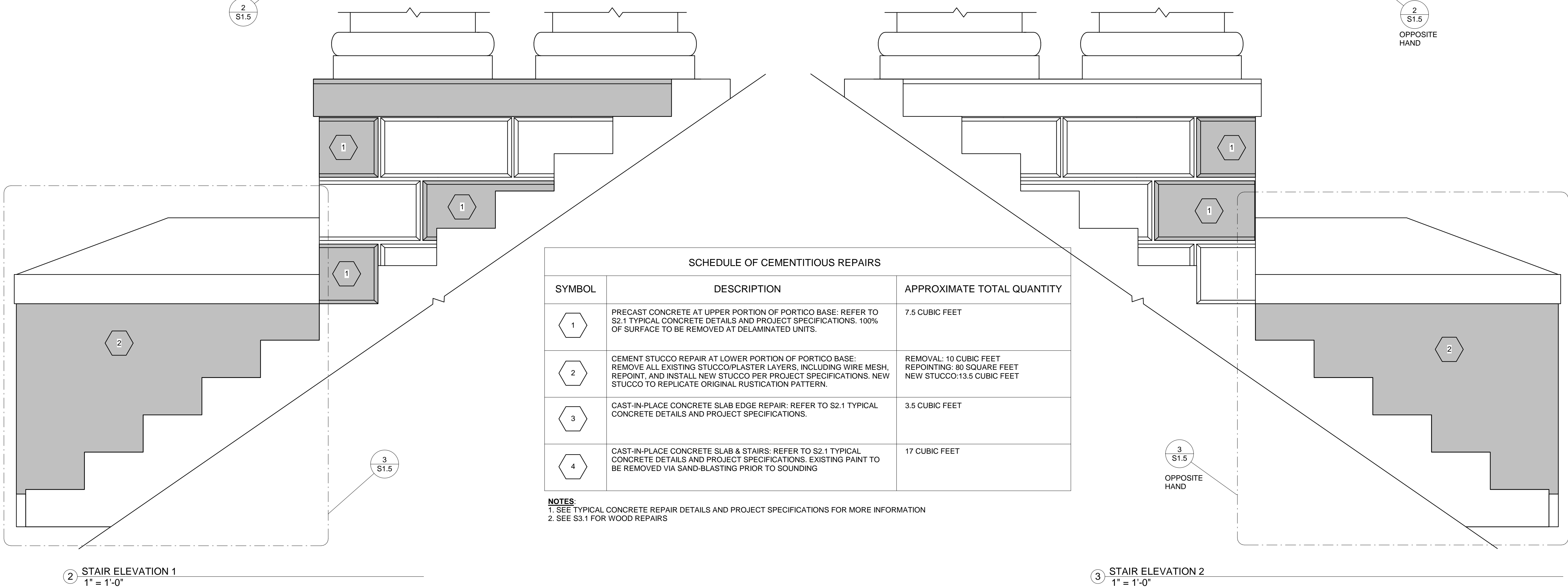
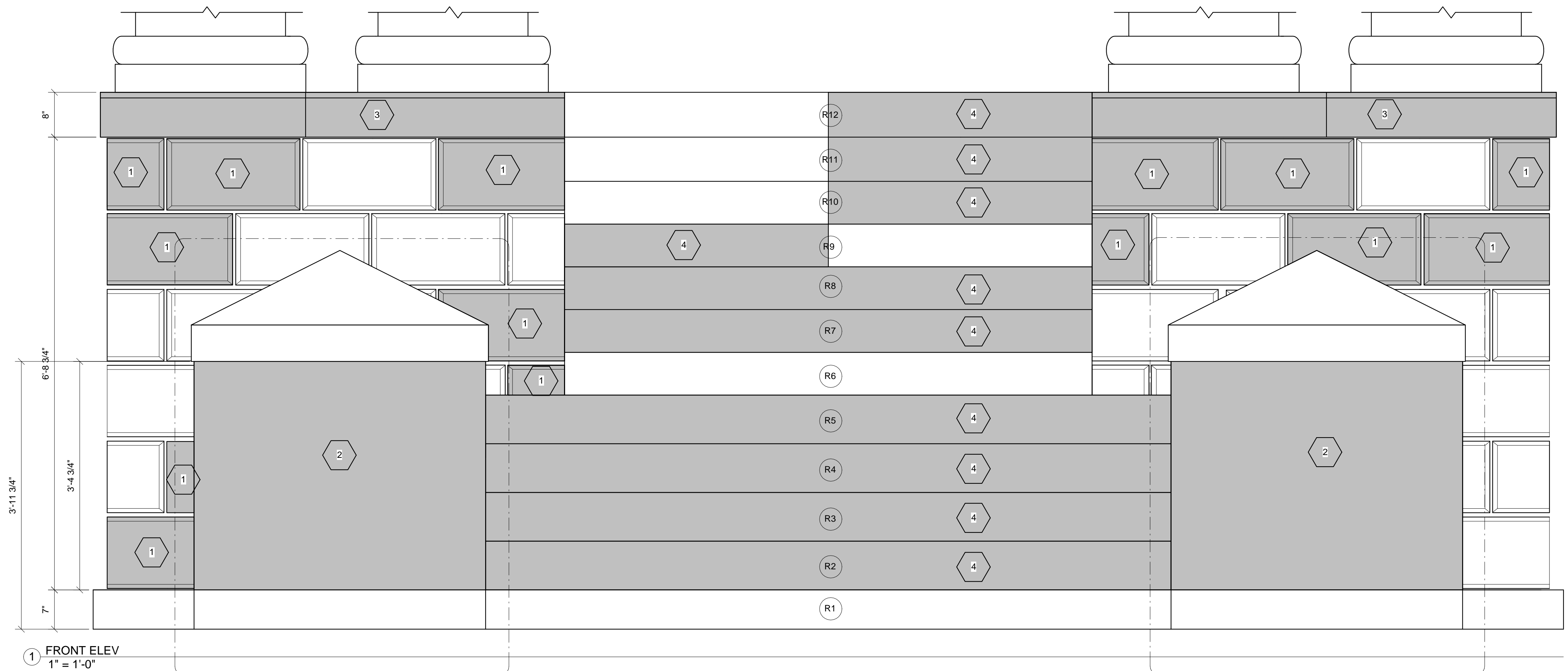
300 MAIN STREET  
OLD SAYBROOK, CT

BID SET

## ELEVATIONS

SCALE:	1" = 1'-0"
PROJECT NUMBER:	17207
DATE:	09/01/2018
DRAWN BY:	Author
CHECKED BY:	Checker

# S1.3











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RESTORED ELEVATIONS

SCALE:	As indicated
PROJECT NUMBER:	17207
DATE:	09/01/2018
DRAWN BY:	Author
CHECKED BY:	Checker

S1.5

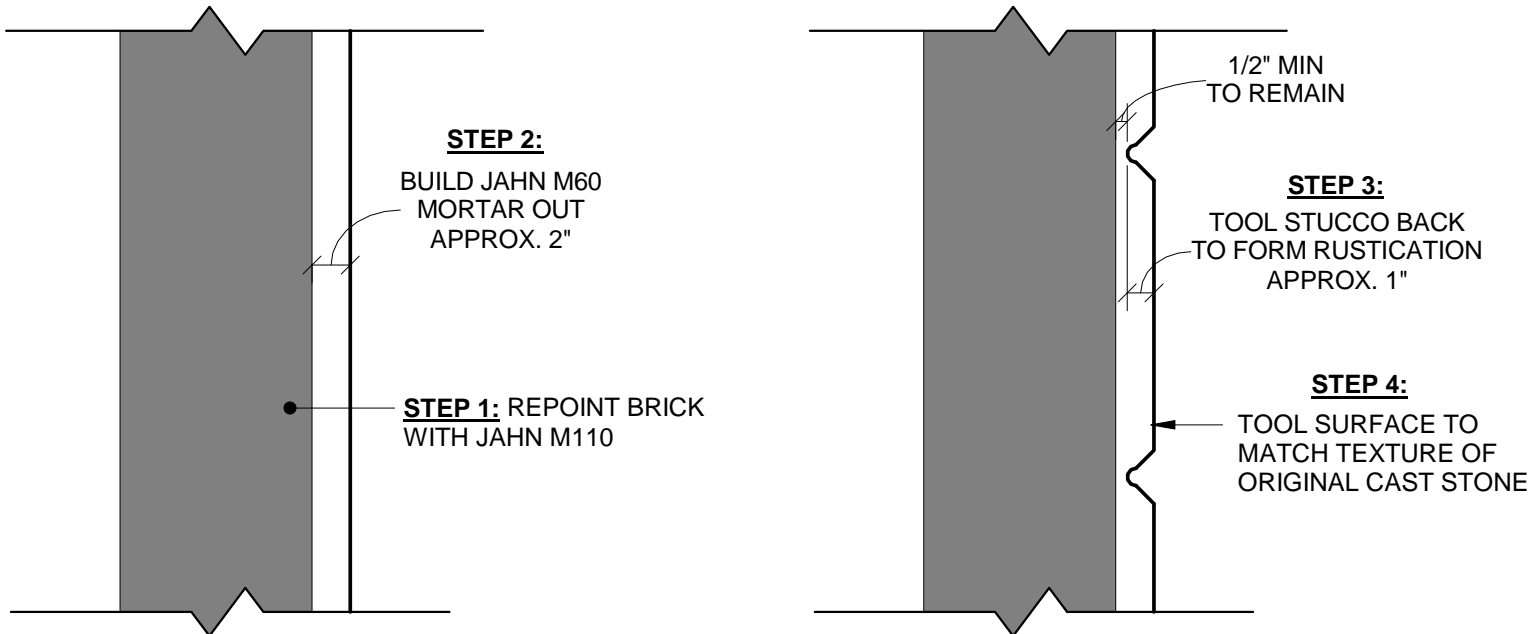


ALL (E) LAYERS OF  
STUCCO/PLASTER  
TO BE REMOVED  
(APPROXIMATELY  
1 3/4" TOTAL)

REPOINT BRICK WITH JAHN M110

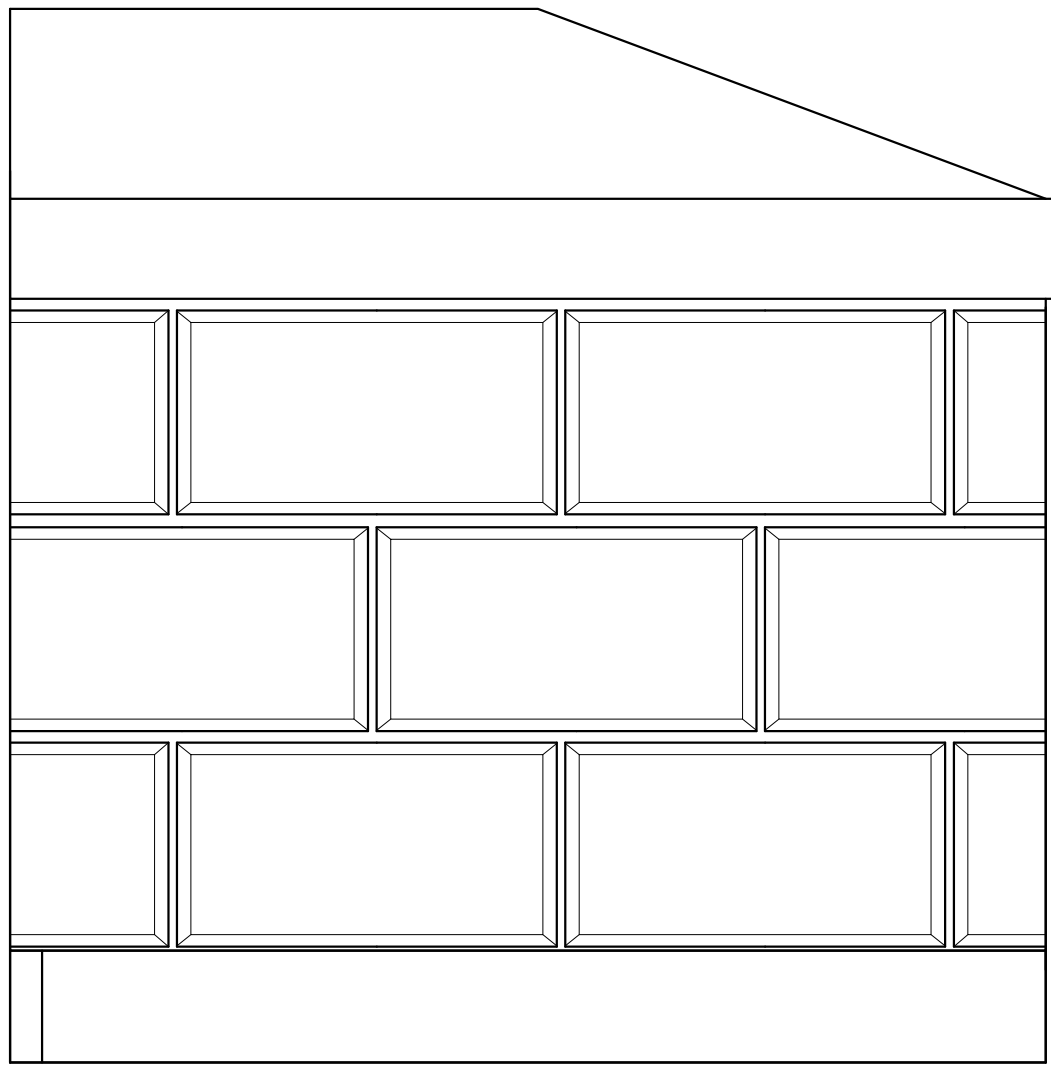
FACE OF BRICK MAY COME OFF  
WITH PLASTER/STUCCO  
REMOVAL. REMOVE ALL LOOSE  
BRICK PIECES PRIOR TO  
CLEANING/WASHING/PREP

EXISTING STUCCO/PLASTER REMOVAL

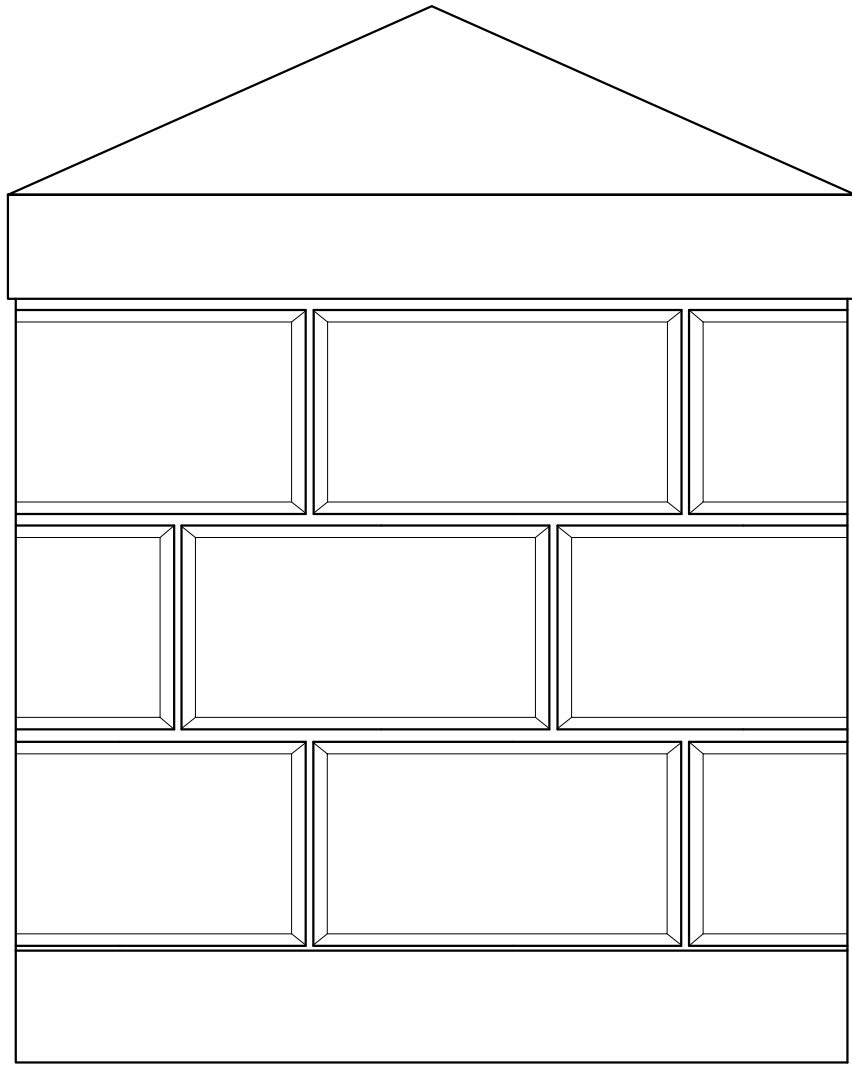


NOTE: REFER TO MANUFACTURER'S SPECIFICATIONS AND  
PROJECT SPECIFICATIONS FOR PREPARATION AND CURING  
REQUIREMENTS. INFORMATION SHOWN IN THIS DETAIL IS  
FOR GENERAL INFORMATION ONLY.

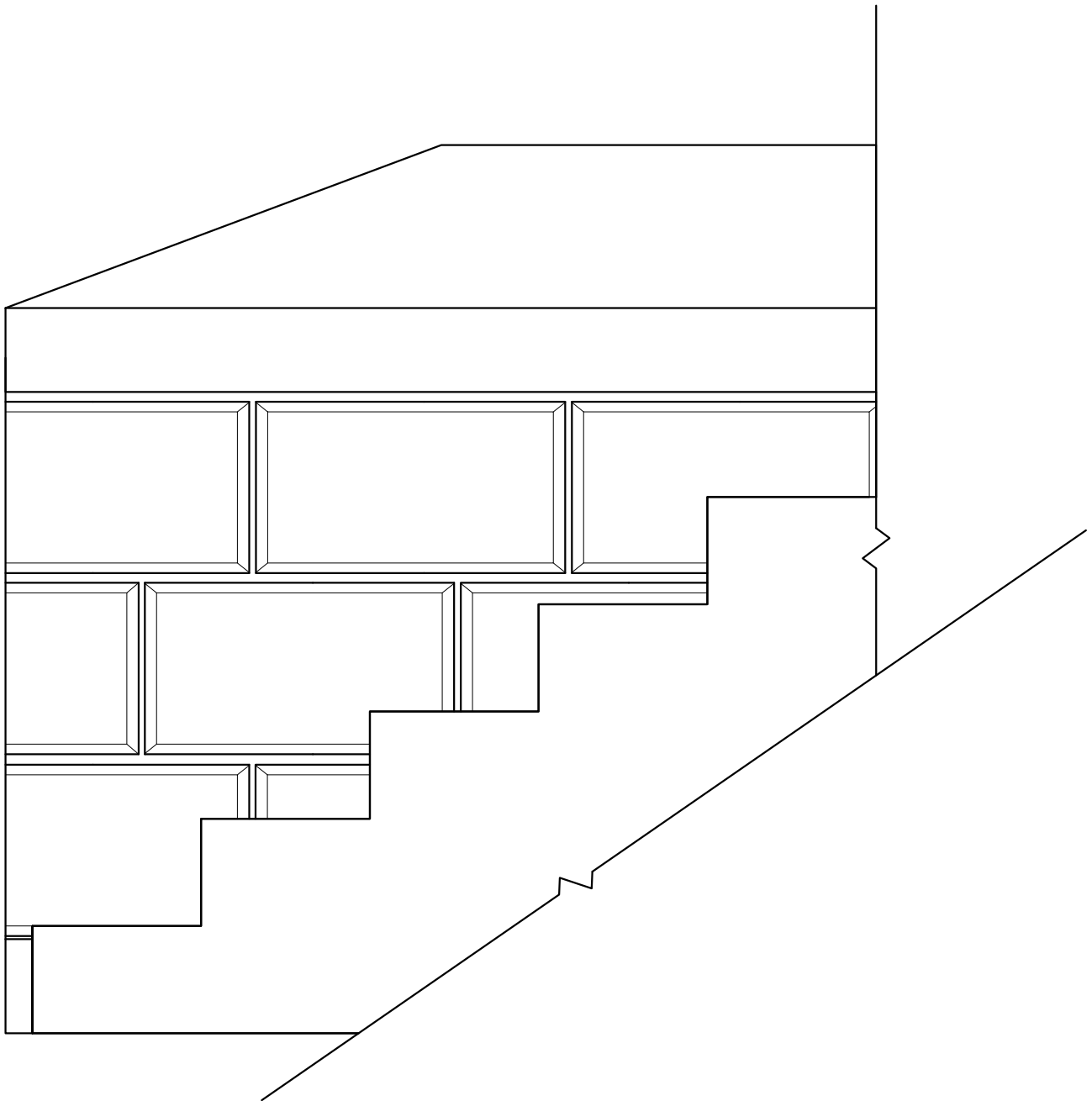
TYPICAL STUCCO RESTORATION DETAIL



1 RESTORED NORTH LOWER ELEVATION  
1" = 1'-0"



2 RESTORED LOWER FRONT ELEV  
1" = 1'-0"



3 RESTORED LOWER STAIR ELEVATION  
1" = 1'-0"

RESTORED ELEVATIONS SHOW APPROXIMATE LAYOUT OF RESTORED STUCCO BASED ON EXISTING UNIT SIZES. CONTRACTOR TO SUBMIT FINAL LAYOUT FOR APPROVAL BY OWNER AND ENGINEER.



DAMPEN SURFACE AND APPLY 1/8" THICK "PEANUT BUTTER" COAT PER MANUFACTURER'S REQUIREMENTS. DO NOT ALLOW THIS COAT TO DRY OUT DURING INSTALLATION OF REPAIR COATS.

PLAN

ELEVATION

HORIZONTAL SURFACES: APPLY JAHN M90HG FLUSH TO SURFACE AND FINISH WITH STEEL TROWEL.

HORIZONTAL SURFACES: APPLY JAHN M90VG BEYOND SURFACE OF CONCRETE AND FINISH WITH STEEL TROWEL.

IF DEPTH OF REPAIR IS GREATER THAN 2", APPLY M90 IS 2 LIFTS

PLAN

ELEVATION

## TYPICAL CONCRETE REPAIR AT STAIRS AND LANDING WITH JAHN M90

### JAHN M90 - CAST IN PLACE & PRECAST CONCRETE REPAIR

1. CLEANING & SOUNDING
  - CLEAN ALL CAST IN PLACE CONCRETE SURFACES BY SAND-BLASTING TO REMOVE EXISTING PAINT AND LOOSE CONCRETE.
  - CLEAN PRECAST CONCRETE SURFACES BY POWER-WASHING.
  - SOUND SURFACES FOR DELAMINATION AND SUBMIT DOCUMENTATION OF AREAS TO BE REMOVED AND REPAIRED.
2. SURFACE PREPARATION
  - JOINTS MUST BE FREE OF ALL DUST, DIRT, GREASE, LAITANCE AND/OR ANY SUBSTANCE WHICH MAY HINDER ADHESION.
  - REMOVE ALL LOOSE AND DETERIORATED CONCRETE FROM THE REPAIR AREA (MINIMUM DEPTH 1/2")
  - SIDES OF REPAIR AREA SHOULD BE SQUARE CUT
  - WASH THE PREPARED SURFACE WITH CLEAN WATER AND A BRISTLE BRUSH TO REMOVE DUST FROM THE PORES
3. APPLICATION
  - MOISTEN THE SUBSTRATE USING CLEAN WATER
  - JAHN MORTAR SHOULD BE APPLIED TO A GLISTENING WET SURFACE ON VERTICAL APPLICATIONS AND TO A DAMPENED SURFACE ON HORIZONTAL APPLICATIONS (WITH NO POOLING WATER). IF THE SURFACE DRIES OUT, THIS STEP MUST BE REPEATED.
  - JAHN MORTAR SHOULD BE MIXED WITH WATER TO THE CONSISTENCY OF WET PUTTY.
  - APPLY TO THE GLISTENING WET SUBSTRATE APPROXIMATELY 1/8" THICK
  - WHEN APPLYING HORIZONTAL SURFACES USING M90 HG APPLY MATERIAL FLUSH TO THE SURFACE AND FINISH TO A TIGHT STEEL TROWELED FINISH, FLOAT, OR BROOM TO ACHIEVE A TEXTURED EFFECT
  - M90 MAY BE PLACED IN DEEP APPLICATIONS USING SUCCESSIVE LIFTS
  - IF A CEMENT SKIN FORMS BETWEEN APPLICATIONS SCRAPE AWAY ENOUGH TO REMOVE
4. CURING
  - PERIODICALLY MIST M90 REPAIRS USING CLEAN WATER FOR AT LEAST 72-HOUR PERIOD  
HOT, HUMID CONDITIONS                      MISTING IN 30 TO 60 MIN.  
COOLER, DAMP CONDITIONS                  SEVERAL HOURS BEFORE MISTING
5. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

The image contains four technical drawings arranged in a 2x2 grid, illustrating repair methods for brickwork. Each row shows an elevation view on the left and a section view on the right.

- Top Row (Repair Method 1):**
  - ELEVATION:** Shows a brickwork elevation with a rectangular area of damage. A portion of this area is shaded with diagonal hatching, indicating the area to be removed.
  - SECTION:** Shows a cross-section of the brickwork. A dark grey area represents the brick masonry to be removed. A label points to the remaining brickwork: "BRICK MASONRY BACKUP TO REMAIN". Another label points to the damaged area: "SPALLED/DELAMINATED AREA".
- Bottom Row (Repair Method 2):**
  - ELEVATION:** Shows a brickwork elevation with a rectangular area of damage. A dashed line within this area indicates the extent of the removal.
  - SECTION:** Shows a cross-section of the brickwork. A dark grey area represents the brick masonry to be removed. A label points to the remaining brickwork: "BRICK MASONRY BACKUP TO REMAIN". Another label points to the damaged area: "REMOVE FULL EXTENT OF FACE MIX AT SPALLED/DELAMINATED AREAS. DO NOT OVERCUT. REFER TO GENERAL PROCEDURES, CONTRACT SPECIFICATIONS, AND MANUFACTURER'S REQUIREMENTS FOR FURTHER DETAILS. TYP".

## TYPICAL PRECAST CONCRETE UNIT REPAIR WITH JAHN M90

**NOTE:** REFER TO MANUFACTURER'S SPECIFICATIONS AND PROJECT SPECIFICATIONS FOR PREPARATION AND CURING REQUIREMENTS. INFORMATION SHOWN IN THIS DETAIL IS FOR GENERAL INFORMATION ONLY.

**JAHN M60 STUCCO/ PLASTER MORTAR**

1. SURFACE PREPARATION
  - SURFACES MUST BE FREE OF ALL DUST, DIRT, GREASE, LAITANCE AND/ OR ANY SUBSTANCE WHICH MAY HINDER ADHESION.
  - REMOVE ALL LOOSE OR FRIBLE MORTAR BEFORE Jahn M60 APPLICATION
  - SIDE OF REPAIR AREA SHOULD BE "SQUARE CUT" WITH EDGES AND A MINIMUM OF 1/4" DEPTH
  - SURFACE TO BE WASHED WITH CLEAN WATER AND BRISTLE BRUSH
  - SUBSTRATE REQUIRES INTENSIVE PRESOAKING PRIOR TO APPLICATION.
  - ALL NECESSARY JOINT REPAIRS SHOULD BE COMPLETED WITH Jahn M110 POINTING MORTAR 21 DAYS PRIOR TO THE APPLICATION OF M60.
2. APPLICATION
  - MOISTEN THE SUBSTRATE USING CLEAN WATER, PRESOAK UNTIL SATURATED. IF THE SURFACE DRIES OUT BEFORE APPLYING M60, THIS STEP MUST BE REPEATED
  - WHILE MATERIAL IS STILL WORKABLE, WIPE THE SURFACE WITH A DRY SPONGE IN ORDER TO PREVENT SURFACE MAP CRACKING OF MATERIAL. NEVER USE A DAMP SPONGE FOR FINAL FINISHING.
  - WHILE MATERIAL IS STILL WORKABLE, TOOL SURFACE TO REPLICATE RUSTICATION PATTERN PER TRAINING INSTRUCTIONS BY CATHEDRAL STONE REPRESENTATIVE.
3. CURING
  - PERIODICALLY MIST M60 REPAIRS WITH CLEAN WATER FOR AT LEAST A 72- HOUR PERIOD.

HOT, DRY CONDITIONS	MISTING IN 30 TO 60 MIN
COOLER, DAMP CONDITIONS	SEVERAL HOURS BEFORE MISTING
4. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

## S2.1



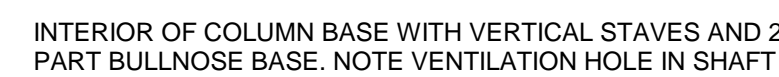


PHOTO C01

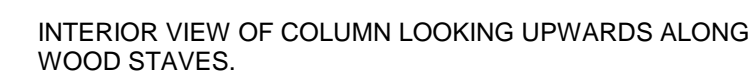


PHOTO C02

1. DIMENSIONS SHOWN ON THIS DRAWING ARE APPROXIMATE. CONTRACTOR TO CONFIRM EXACT DIMENSIONS IN ORDER TO REPLICATE EXISTING BASES TO BE REPLACED.
2. ALL NEW WOOD TO BE CLEAR, STRAIGHT GRAINED DOUGLAS FIR
3. GLUE SYSTEM TO BE EXTERIOR GRADE TYPE III PVA GLUE BY TITEBAND,
4. FINISH PAINT TO BE WHITE GLOSS OIL BASE SYSTEM. 1 COAT OIL BASE WHITE PRIMER + 2 COATS RUST-OLEUM 206989 MARINE TOPSIDE PAINT WHICH DO NOT AVOID SURFACES WHICH REQUIRE FIELD GLUING DURING BASE ASSEMBLY (COVE & BULLNOSE PIECES). SHOP APPLY PRIMER + 1 FINISHED COAT AND APPLY FINAL FIELD FINISH COAT AFTER ASSEMBLY.
5. ALL FASTENERS TO BE STAINLESS STEEL.
6. SEALANTS TO BE SIKAFLEX - 221 WHITE POLYURETHANE.
7. CONTRACTOR TO SHORE COLUMNS TO ALLOW FOR COMPLETE BASE REMOVALS AND INSTALLATION OF NEW BASE ANCHORS AND FINISHES.
8. SCREWS TO BE STAINLESS STEEL. SELF DRILLING AUGER POINT WITH NARROW BRIDGE HEAD. COUNTERSINK AND SEALANT FILL PRIOR TO FINAL PAINT COATING.



PHOTO C03

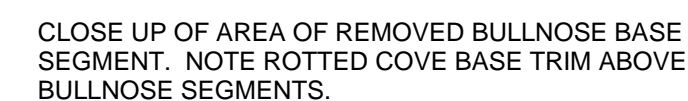


PHOTO C04

